

# Historical Archaeological Impact Statement & Archaeological Research Design S140 Application

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## PS5&6, Parramatta Square, Parramatta



*Hart, Hitchcock & Co Timber Merchants, Darcy Street c. 1890-1910. LSOP 796.*

Report to  
**Parramatta City Council**

July 2015

Casey & Lowe Pty Ltd  
Archaeology and Heritage Consultants  
51 Reuss Street, Leichhardt NSW 2040  
ABN: 32 101 370 129

 (02) 9569 1130  
 [www.caseyandlowe.com.au](http://www.caseyandlowe.com.au)



## EXECUTIVE SUMMARY

### RESULTS

This report assesses the impact from the proposed works associated with the redevelopment of Parramatta Square Stages 5 & 6 (PS5&6) on the potential historical archaeology resource. The proposed works include the excavation of a basement to RL-15.50m, extending into the Darcy Street roadway.

The study area has the potential to contain a range of archaeological remains with historical, associative, social, research and representative significance. The PS5&6 study area includes a very small area in the northwest corner of the development plot near the Town Hall that is considered to have potential State significance. Overlays of historic plans show that the Town Drain, which has local significance, is likely to be present running across the northwest corner of the study area.

*The main impact of the proposed development is on potential remains considered to be of local significance. The study area has the potential to contain remains, including:*

- Early agriculture evidence as part of early farming (1788-1790s) and prior to subdivision. Limited potential for ephemeral remains such as agricultural marks, drainage channels and environmental information.
- Wentworth Estate and Subdivision. While there are no known structures associated with the Wentworth Estate, as the land was used for grazing and watering of animals, remains may include ephemeral evidence such as agricultural marks and environmental information and possible remains of brick cisterns/sumps at the edge of swampy areas for water collection.
- Yard areas and features, sites of structures shown on 1844 plan and an additional two structures on the 1858 plan, including associated outbuildings, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.
- Two 'ponds' shown on 1858 plan in the northern end of the study area. Potentially backfilled with artefacts and may include pollen deposits and general environmental evidence.
- Approximately 6m to 12m of the c.1840s Town Drain running across the northwest corner of the study area.
- Archaeology of eight semi-detached houses and their outbuildings, yard deposits, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.

A short section of the Town Drain, listed on the Parramatta City Centre LEP2007 (Item I 132), within Civic Place is proposed to be removed as part of part of the bulk excavation works. It is noted that the Town Drain, also called the 'convict drain', is not a relic under the *Heritage Act* but rather a buried work, but the excavation of the drain has the potential to disturb relics.

### MITIGATION

To mitigate the impacts of the proposed removal of archaeology by the basement excavation, it is required under S139 and S140 of the *Heritage Act 1977* to obtain an approval to disturb relics. This requires the detailed archaeological excavation of the subject site in accordance with the Archaeological Research Design outlined in Section 8. The S141 approval will include conditions of consent relating to the archaeological program.

The section of the Town Drain should be archaeological recorded and a photo archive produced of the drain, aside from its inclusion in the archaeological reporting. The Town Drain should be interpreted within the new Parramatta Square in accordance with the DCP requirements and the proposed interpretation strategy for Parramatta Square.

## RECOMMENDATIONS

1. An application for an excavation permit under S140 of the *Heritage Act 1977* should be made to the Heritage Division, Office of Environment & Heritage (OEH). This report provides the main documentation to accompany this application and includes an Archaeological Research Design (ARD) outlining the proposed excavation methodology and approach to be used. This is included within the current report.
2. Potential archaeology within this site should be recorded as part of a detailed recording program in accordance with the Parramatta Square AMS Section 9: Archaeology - Best Practice Guidelines.
3. No excavation or ground disturbance of the PS5&6 site can be undertaken prior to the issuing of a S141 approval from the Heritage Division, OEH.
4. The archaeological program will need to be undertaken in accordance with the S141 Conditions of Consent.
5. Excavation or disturbance of the ground needs to be co-ordinated with the Aboriginal archaeology and their approval process. An AHIP under S90 of the *NPW Act* is required prior to undertaking any substantial works as the testing in 2004 identified that this area contained Aboriginal objects.
6. An excavation report presenting the results of the archaeological program to the public should be prepared at the end of the archaeological program. The final report needs to comply with the S141 conditions of consent.
7. Parramatta City Council should provide a repository for the storage in perpetuity of artefacts recovered from the site.
8. Advice is required from Parramatta City Council for the removal of the Town Drain within PS5&6.

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### APPENDIX 1: SANDS Directory

**Document Status**

<b>Name</b>	<b>Date</b>	<b>Purpose</b>	<b>Authors</b>	<b>Approved</b>
IDraft 1	07/04/2015	Draft for internal review	Mary Casey, Rhian Jones	Tony Lowe
IDraft 2	10/04/2015	Draft for internal review	Mary Casey, Rhian Jones	Dr Mary Casey
Draft 1	27/4/2015	Issue to client	Mary Casey	Tony Lowe
Final Draft	4/5/2015	Issue to client	Mary Casey	Tony Lowe
Final	7/7/2015	Minor changes, Issue to client	Mary Casey	Mary Casey

# Archaeological Impact Statement & Research Design

## Historical Archaeology, PS5&6, Parramatta Square, Parramatta

### 1.0 Introduction

#### 1.1 Background

Casey & Lowe Pty Ltd were engaged by Parramatta City Council to prepare a Historical (European) Archaeological Impact Statement (SOHI) for the development area PS5&6, Parramatta to assess the archaeological issues associated with the proposed redevelopment of this part of the Parramatta Square site. Comber Consultants are engaged to prepare a separate report covering the Aboriginal archaeology for this project. The northeast section and the western edge of the PS5&6 study area falls within previously approved S140 applications. S144 variations will be made for these approvals which will require amendments to property boundaries for the 2013 approvals. This is discussed in detail in Section 1.4.

#### Archaeological Management Strategy, Parramatta Square

In 2004 Casey & Lowe wrote an Archaeological Management Strategy for the former proposed development under the 2003 Masterplan. This was updated as part of the current proposal *Archaeological Management Strategy, Parramatta Square, Parramatta* (updated October 2012). The updating of the Archaeological Management Strategy (AMS) focused on updating the statutory constraints and reassessing the archaeological significance of Parramatta Square in accordance with the 2009 significance guidelines.

The 2012 AMS provides detailed historical research, analysis of plans and overlay maps identifying the archaeological potential and significance of the Parramatta Square area in general and individual historical developments of the properties. While the AMS is detailed in scope there are always elements which will be missed or details which are not obvious when addressing larger scale issues. This AIS & ARD provides a detailed analysis of the site-specific development of the project, including where additional research may be required. In this case, analysis of the properties fronting Darcy Street and modern impacts in Civic Place has been undertaken. As the starting point for this report, we are in agreement with the conclusions reached in the AMS in terms of archaeological potential and heritage significance. Elements of the AMS have been used as the bases for Sections 2, 3, 4 and 5. A change that has happened since 2012 is that we have been provided with accurate mapping of the basements and this means that less of PS5&6 has been identified as being impacted by basements.

#### 1.2 Study Area

The PS5&6 study area is located in the central section of Civic Place/Parramatta Square, namely the Parramatta City Library at 1A-1C Civic Place, and numbers 12-38 Darcy Street, (Figure 1.1, Figure 1.2, Figure 1.3). It also covers the eastern end of the Connection Arcade (162-172 Church Street) and parts of Darcy Street (Figure 1.4, Figure 1.5). It includes a number of full cadastral lots, parts of some lots and the eastern section of Darcy Street to Smith Street (Figure 1.3). The full lots covered by this study area are:

- DP 417015, Lot A & Lot B (12 & 14 Darcy Street)
- DP790386, Lot 2 (14A Darcy Street)
- DP 549978, Lot 1 & Lot 2 (16 & 18 Darcy Street)
- DP 221128, Lot 3 (20-22 Darcy Street)
- DP 211992, Lot 3 & Lot 4 (24-26 Darcy Street)
- DP 128539, Lot 1 (28 Darcy Street)
- DP 419250, Lot B (30-38 Darcy Street, Parramatta City Council Building)

The partial lots covered by this study area are:

- DP 731780, Lot 1 (eastern part of Connection Arcade, 162-172 Church Street)
- DP 1192394, Lot 2 (1A-1C Civic Place, Parramatta City Library)
- DP 1158833, Lot 2 and Lot 3 (Darcy Street)
- DP201075, Lot 1 (119Z Macquarie Street)
- DP510571, Lot 3 (119Z Macquarie Street).

The entirety of the study area will be bulk excavated for the proposed basement to RL -15.50m, which will remove all the potential archaeological resource. The current buildings within the study area include five two-storey buildings along Darcy Street, the eastern section of the Connection Arcade, and multi-storey Council and Library buildings some of which have basements.

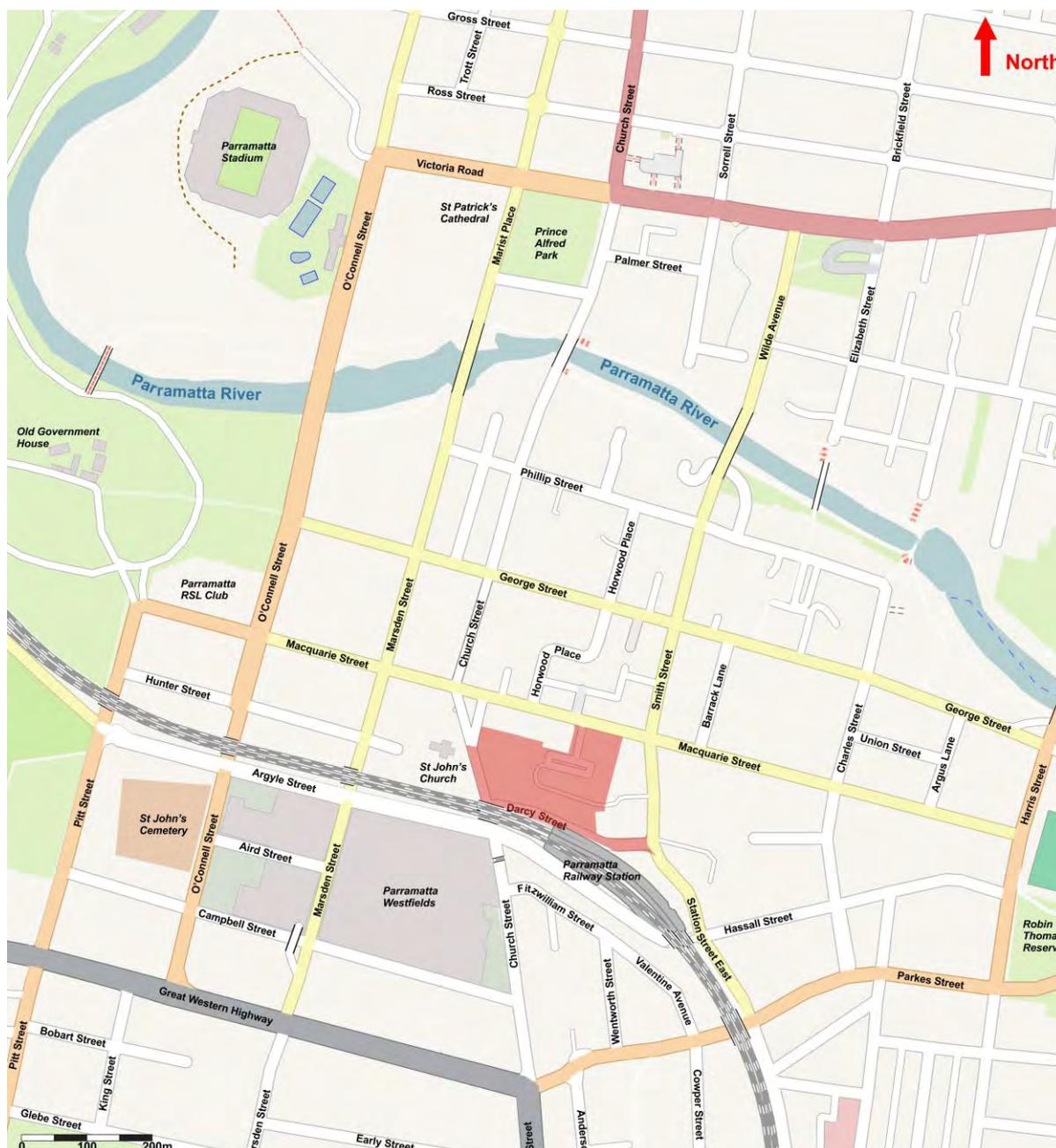


Figure 1.1: Location of Parramatta Square within Parramatta.

# PARRAMATTA SQUARE BASEMENT EXCAVATION MASTERPLAN

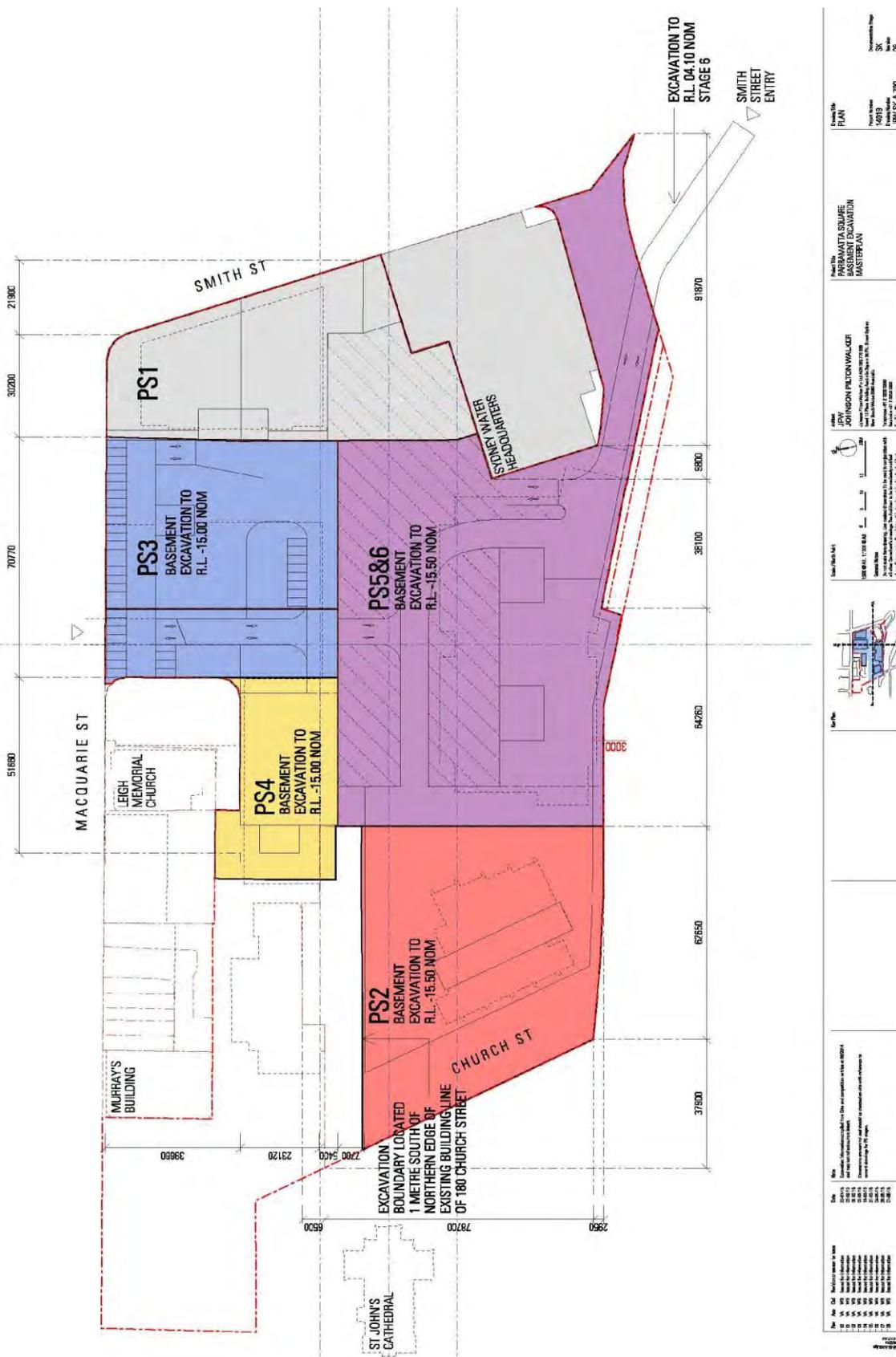


Figure 1.2: Plan showing the area boundaries for Parramatta Square and the proposed location of basements. PS5&6 is shaded purple and includes a section of Darcy Street. Architect, JPW, 1/06/2015.

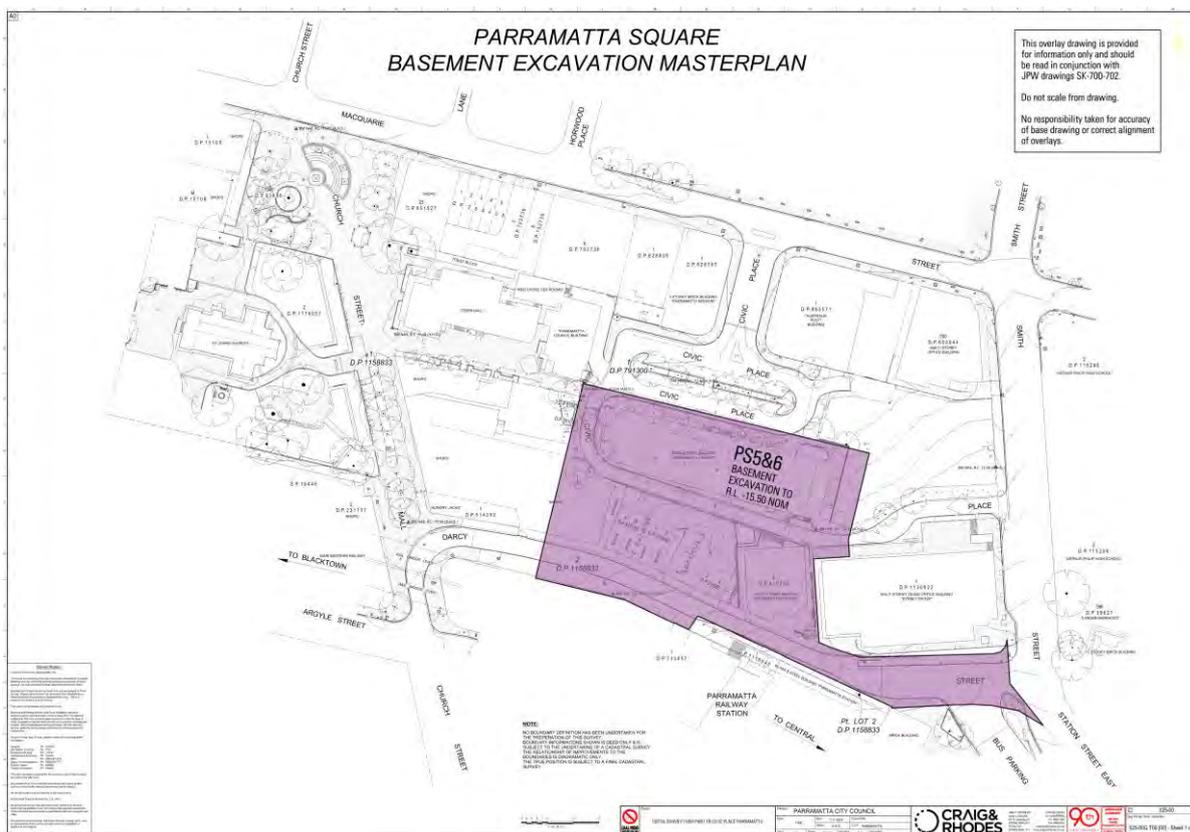


Figure 1.3: Plan showing the cadastral boundaries within Parramatta Square. Note how the footprint of PS5&6 includes Darcy Street. Craig and Rhodes



Figure 1.4: Arcade near the corner of Church and Darcy Streets, 162–172 Church Street.



Figure 1.5: Site of the former Hungry Jacks in Darcy Street. On the right is 10 Darcy Street and the former Parramatta Hotel which has a large basement.



**Figure 1.6:** View to east along Darcy Street looking towards Council's offices. Some of the buildings in the middle ground are those shown on the 1895 plan with modern additions at the front. Nos 12 to 28 Darcy Street.



**Figure 1.7:** Rear yards of 12 to 26 Darcy Street from the rear laneway. The two buildings on the right were built prior to 1895 and the two on the left are later buildings built after the demolition of the earlier houses on Darcy Street shown on the 1895 plan (Figure 2.13).



**Figure 1.8:** View to west from PS1 area into carpark with library building in background.



**Figure 1.9:** View to west over PS1 from near Smith Street. Library building in the left background.



**Figure 1.10:** Central parking island in Parramatta Square. Two test trenches were placed at either end of the central parking area.



**Figure 1.11:** View of underground carpark entrance to the east of the 1950s Council Chambers building. The Leigh Memorial Church is to the north on Macquarie Street.

## 1.3 Statutory Constraints

### 1.3.1 Relics Provisions *NSW Heritage Act, 1977*

#### 1.3.1.1 Division 9: Section 139, 140–146 - Relics Provisions - Excavation Permit

The main legislative constraint on archaeological remains is the relics provisions of the *Heritage Act 1977*.

According to Section 139:

- (1) *A person must not disturb or excavate any land knowing or having reasonable cause to suspect that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed unless the disturbance or excavation is carried out in accordance with an excavation permit.*
- (2) *A person must not disturb or excavate any land on which the person has discovered or exposed a relic except in accordance with an excavation permit.*
- (4) *The Heritage Council may by order published in the Gazette create exceptions to this section, either unconditionally or subject to conditions, in respect of any of the following:*
  - a. *any relic of a specified kind or description,*
  - b. *any disturbance or excavation of a specified kind or description,*
  - c. *any disturbance or excavation of land in a specified location or having specified features or attributes,*
  - d. *any disturbance or excavation of land in respect of which an archaeological assessment approved by the Heritage Council indicates that there is little likelihood of there being any relics in the land.*

A 'relic' is an item of 'environmental heritage' defined by the *Heritage Act 1977* (amended) as:

*those places, buildings, works, relics, moveable objects, and precincts of State or local heritage significance.*

A relic as further defined by the Act is:

*..any deposit, object or material evidence -*  
*(a) which relates to the settlement of the area that comprises New South Wales,*  
*not being Aboriginal settlement; and*  
*(b) is of State or local heritage significance.*

Any item identified as an historical archaeological site or relic cannot be impacted upon without an **excavation permit**. An excavation permit forms an approval from the Heritage Council for permission to 'disturb' a relic.

An application for an excavation permit must be made to the Heritage Council of NSW (Section 140) (or its delegate) and it will take approximately six to eight weeks to be processed. The application for a permit must nominate a qualified archaeologist to manage the disturbance of the relics. There is a processing fee for each excavation permit application the details of which can be obtained from the Heritage Division, Office of Environment and Heritage website.

#### Exceptions

An application for an Exception to S139(4) may be made where the impact is considered to be in accordance with the following categories:

- (1A) An archaeological assessment, zoning plan or management plan has been prepared in accordance with Guidelines published by the Heritage Council of NSW which indicates that any relics in the land are unlikely to have State or local heritage significance.

- (1B) The excavation or disturbance of land will have a minor impact on archaeological relics including the testing of land to verify the existence of relics without destroying or removing them.
- (1C) A statement describing the proposed excavation demonstrates that evidence relating to the history or nature of the site, such as its level of disturbance, indicates that the site has little or no archaeological research potential.

### 1.3.1.2 Statutory and Non-statutory Guidelines

The management of heritage sites in NSW should conform to the requirements of the *Burra Charter* of Australia ICOMOS. Many of the following guidelines provide for best practice conservation approaches and can be used to inform all the management of the archaeological remains. There are a range of archaeological guidelines which inform the management of the place:

- Archaeological Assessment Guidelines*, NSW Heritage Office, Department of Urban Affairs & Planning, 1996. A new draft of this has been prepared but not yet published.
- Assessing Significance for Archaeological Sites and 'Relics'*, Heritage Branch, Department of Planning, 2009.
- NSW Heritage Manual*, NSW Heritage Office, Department of Urban Affairs & Planning, 1996.
- Historical Archaeological Investigations: A Code of Practice*, NSW Department of Planning, 2006.
- Historical Archaeological Sites, Investigation and Conservation Guidelines*, Department of Planning and NSW Heritage Council, 1993.
- Excavation Director's Assessment Criteria*, NSW Heritage Office.
- ICHAM Charter, The ICOMOS Charter for the Protection and Management of Archaeological Heritage*, ICOMOS International, 1990.
- Recommendation on International Principles Applicable to Archaeological Excavations*, UNESCO, 1956.
- Heritage Interpretation Policy and Guidelines*, Heritage Information Series, NSW Heritage Office, August 2005.
- Photographic Recording of Heritage Items*, Heritage Information Series, NSW Heritage Office, 2006.

### 1.3.2 Parramatta City Centre LEP 2007

The Town Drain is listed as a heritage item of local significance on this LEP. It is mapped as heritage item 132 on the heritage map (Figure 3.7). Part 5, Section 35 of the LEP indicates that (see details below) if there is no impact on the significance of a heritage item, no approval from Council will be required. It is noted that the Town Drain, also called the 'convict drain', is not a relic, rather it is a buried work, but the excavation of the drain has the potential disturb relics and would need an approval for this reason rather than for the removal of the drain itself.<sup>1</sup>

## 35 Heritage conservation

### (1) Objectives

The objectives of this clause are:

- a) to conserve the environmental heritage of Parramatta city centre, and
- b) to conserve the heritage significance of heritage items and heritage conservation areas including associated fabric, layout, settings and views, and
- c) to conserve archaeological sites and relics, and
- d) to conserve places of Aboriginal heritage significance.

<sup>1</sup> Siobhan Lavelle, Heritage Branch, OEH: email Wednesday 17/10/2012 9:08.

**(2) Requirement for consent**

Development consent is required for any of the following:

- a) demolishing or moving a heritage item or a building, work, relic or tree within a heritage conservation area,
  - b) altering a heritage item or a building, work, relic, tree or place within a heritage conservation area, including (in the case of a building) making changes to the detail, fabric, finish or appearance of its exterior,
  - c) altering a heritage item that is a building, by making changes to significant elements of its interior,
  - d) disturbing or excavating an archaeological site while knowing, or having reasonable cause to suspect, that the disturbance or excavation will or is likely to result in a relic being discovered, exposed, moved, damaged or destroyed,
  - e) disturbing or excavating a heritage conservation area that is a place of Aboriginal heritage significance,
- .....

**(3) When consent not required**

.....

**(4) Heritage impact assessment**

The consent authority may, before granting consent to any development on land:

- a) on which a heritage item is situated, or
- b) within a heritage conservation area, or
- c) within the vicinity of land referred to in paragraph (a) or (b),

require a heritage impact statement to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.

**Note.** The website of the Heritage Division of the Office of Environment and Heritage has publications that provide guidance on assessing the impact of proposed development on the heritage significance of items (for example, *Statements of Heritage Impact*).

**(5) Heritage conservation management plans**

The consent authority may require, after considering the significance of a heritage item and the extent of change proposed to it, the submission of a heritage conservation management plan before granting consent under this clause.

**(6) Archaeological sites**

The consent authority must, before granting consent under this clause to the carrying out of development on an archaeological site, be satisfied that any necessary excavation permit required by the *Heritage Act 1977* has been granted.

**1.3.3 Parramatta Development Control Plan 2011**

The DCP 2011 identified a number of key issues, objectives and constraints among which were those for heritage.

**Heritage**

The site includes a number of heritage items identified in the LEP. The LEP also sets out the controls for both works to heritage items and development in the vicinity of heritage items.

## Objectives

- O.1 Conserve the heritage significance of the site by retaining key heritage buildings and settings.
- O.2 Protect and enhance the views to and from heritage buildings, such as St John's church, the Town Hall and Leigh Memorial church in the design of spaces and buildings.
- O.3 Interpret Parramatta's indigenous and cultural heritage in the design of buildings, public spaces and public art in Parramatta Square.**
- O.4 Interpret the location of the original marketplace, the convict drain and the site's archaeology.**
- O.5 Conserve and where appropriate, adaptively re-use archaeological resources in public interpretation to enrich public spaces.**
- O.6 Develop an interpretation program that derives from the special qualities and associations of the site for the people of Parramatta and the region.**
- O.7 Ensure future development of the site enhances the heritage qualities of the site.

The most relevant to this archaeological project are items O.3, O.4, O.5 and O.6 where the issues of archaeology as part of an interpretation strategy is a key result of the development.

### 1.4 Approvals under the Heritage Act, 1977

Following discussions with the Heritage Division a strategy for the approvals process was initiated to manage approvals for the removal of relics. The following table outlines this strategy (Table 1.1). This table will be updated with each approval and application. There are no other S141 approvals which relates to relics within this site (**Error! Reference source not found.**).

**Table 1.1: Status of Approvals and Applications, both current and future.**

Development Area	Approval	Purpose	Comments
<b>PS2 162-180 Church Street</b>	2013/S140/11	Archaeological excavation of study area and Testing of 1813 Market Building in PS4.	
<b>PS2 162-180 Church Street</b>	S144 Variation to be lodged	Amended footprint, move testing of 1813 Market Building into PS4 as it is now within that development area. Possible section of the Town Drain within the study area.	Variation to be made in the name of PCC which will amend for a new owner. This site will be sold to a separate developer.
<b>PS3, eastern portion (153 Macquarie Street)</b>	2013/S140/19	Archaeological excavation of 153 Macquarie Street which is now a portion of PS3.	Original approval for PS3.
<b>PS3, eastern portion (153 Macquarie Street)</b>	S144 Variation lodged to 2013/S140/19	Amend footprint, etc	Subject to Variation of footprint, staffing, potential interpretation opportunities.
<b>PS3, western portion</b>	S140 to be lodged	Excavation of the area, minor structures, includes the creekline and the 1840s Town Drain.	Not included in previous approvals.
<b>PS4</b>	S140 to be lodged	Some archaeological excavation, to include proposed testing of 1813 market Building. Including the Town Drain. Includes existing basement of Parramatta City Council Chambers.	Testing of 1813 Market Building previously in PS2 but now to be done by PCC as part of this project.
<b>PS5&amp;6</b>	S140 application to be lodged	Archaeological excavation of the footprint of the site. Includes Part of 2013/S140/19 and 2013/S140/11.	Single application only. Includes sections of land previously in PS2, PS3 and PS4. In the future a Variation

			is to be made in the name of PCC which will amend for a new owner. This site will be sold to a separate developer.
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#### 1.4.1 2013 S141 Approvals

##### 1.4.1.1 153 Macquarie Street – PS3

In October 2013 a Section 140 Archaeology Permit Application for full open area salvage excavation was approved by the Heritage Division, Office of Environment & Heritage, for 153 Macquarie Street, 2013/S140/19. This S141 approval covered:

- Lot 1, DP 863571 known as 153 Macquarie Street, formerly the Australia Post Office
- Lot 1 DP 791300 known as Civic Place (part of).

Since February 2015 the footprint of the development areas has changed within the overall Parramatta Square study area. Part of the area covered by the approval for 153 Macquarie Street now overlaps with the northeast corner of the PS5&6 study area (Figure 1.12). The extent of the area covered by the 2013 approval which is now within PS5&6 measures approximately 50m east-west and 35m north-south (Figure 1.3). The relevant reports for this approval are:

- *Archaeological Assessment and Heritage Impact Statement, Non-Indigenous Archaeology, 153 Macquarie Street, Parramatta*, Report to Alfasi Property Development & Parramatta City Council, August 2013 Casey & Lowe (2013).
- *S140 Research Design, Non-Indigenous Archaeology, 153 Macquarie Street, Parramatta*, Report to Alfasi Property Development & Parramatta City Council, June 2013, Casey & Lowe (2013).

#### 2015 S144 Variation

The footprint of the S141 approval for PS3 (formerly 153 Macquarie Street) has been amended to the 2015 development area. This S144 variation will be lodged at the same time as this current application. It removes the southern part of the 2013 approval from what is now PS3 and into the PS5&6 development area (Figure 1.12).

#### 1.4.2 160-182 Church Street – PS2

In June 2013 an Excavation Permit for archaeological salvage and monitoring of the redevelopment of 160-182 Church Street and the testing of areas adjacent to the Parramatta Town Hall was approved by the Heritage Division, Office of Environment and Heritage, 2013/S140/11. This approval overlaps with the western edge of the new PS5&6 study area (Figure 1.12). The overlapping area covered by the existing approval for PS2 within the PS5&6 study area measures approximately 80m north-south and 12m-25m east-west (Figure 1.3). The relevant reports for this approval are:

- *Aspire, 160-182 Church Street, Parramatta, Non-Indigenous Archaeology S140 Research Design*, Report to Property Development Group, Parramatta City Council, May 2013, Casey & Lowe (2013).
- *Statement of Heritage Impact, Historical Archaeology, Aspire, 160-182 Church Street, Parramatta*, report to Parramatta City Council, March 2012, Casey & Lowe (2012).

### 2015 S144 Variation

The S141 approval for PS2 will be amended to the 2015 development area. This S144 variation will be lodged in the near future. It removes the eastern part of the 2013 approval from what is now PS5&6. The eastern part of the 2013 approval will now be within PS5&6 development area.



**Figure 1.12: Overlay showing the areas at for 153 Macquarie Street (green) and 160-182 Church Street (red) that are covered under the 2013, S141 approvals. The PS5&6 study area is shown in purple. Variations are being sought to amend the footprint of the 2013 approvals for both these sites.**

## 1.5 Previous Reports

Aside from the 2012 AMS, a series of reports have been written on aspects of the site's archaeology, heritage and planning and these have been reviewed for this report. These include:

- *Archaeological Assessment and Heritage Impact Statement, Non-Indigenous Archaeology, 153 Macquarie Street, Parramatta*, Report to Alfasi Property Development & Parramatta City Council, August 2013 Casey & Lowe (2013).
- *S140 Research Design, Non-Indigenous Archaeology, 153 Macquarie Street, Parramatta*, Report to Alfasi Property Development & Parramatta City Council, June 2013, Casey & Lowe (2013).
- *Aspire, 160-182 Church Street, Parramatta, Non-Indigenous Archaeology S140 Research Design*, Report to Property Development Group, Parramatta City Council, May 2013, Casey & Lowe (2013).
- *Statement of Heritage Impact, Historical Archaeology, Aspire, 160-182 Church Street, Parramatta*, report to Parramatta City Council, March 2012, Casey & Lowe (2012).
- *Civic Place Precinct, Parramatta, Conservation Management Plan*, draft, Hill Thalix Architecture, Urban Projects Pty Ltd & Design 5 Architects (draft March 2004).
- *Parramatta Transport Interchange, Archaeological Management Plan*, Godden Mackay Logan for Parramatta Rail Link (October 2003).
- *A History of the Civic Place Site, Church, Darcy, Smith and Macquarie Streets & Civic Place, Parramatta, NSW*, John McClymont (2003).
- *Civic Place Masterplan*, NSW Government Architect (Dept of Commerce) and Parramatta City Council (June 2003).
- *Excavation Permit Application, Civic Place Parramatta*, Casey & Lowe (2004).
- *Smith and Darcy Streets, Parramatta, Heritage and Archaeological Assessment*, Godden Mackay Logan (2003).
- *Parramatta Historical Archaeological Landscape Management Strategy (PHALMS)*, Godden Mackay Logan for NSW Heritage Office (2001).
- *Historical and Archaeological Assessment of the Town Hall Site, Civic Place Parramatta, NSW*, Consultant Archaeological Services (1989).
- *Sandstone Drain, Parramatta*, G.C. Wilson & W. R. Wickman (1982).
- *Parramatta Convict Drain*, Warren Wickman, November (1981).

These reports provide a general background to the subject area. The 1989 assessment report only covers the Civic Place carpark and roadway and did not deal with the street frontages.

## 1.6 Authorship

This report was prepared by Rhian Jones and Dr Mary Casey. It is based on research and analysis from a number of other reports, particularly the 2013 Archaeological Assessment and Statement of Heritage Impact for 160-182 Church Street. Section 2.2: Historical Background was written by Terry Kass for the AMS 2004, with contributions by Dr Mary Casey. Section 3.1.4: Town Drain was written by Nick Pitt. The report was reviewed by Tony Lowe and Dr Mary Casey, Directors, Casey & Lowe Pty Ltd.

## 1.7 Acknowledgements

Chris Demertze, Property Development Group, Parramatta City Council  
 Martin Mambraku, Property Development Group, Parramatta City Council  
 Jillian Comber, Comber Consultants  
 Katrina Stankowski, Heritage Division, Office of Environment & Heritage  
 Felicity Barry, Regional Operations Group, Office of Environment and Heritage

Susan Harrison, Regional Operations Group, Office of Environment and Heritage  
 Fran Scully, Regional Operations Group, Office of Environment and Heritage

## 1.8 Limitations

There were no particular constraints to producing this report. There was sufficient time and funding to complete this report to a quality standard.

## 1.9 Glossary

### Historical Archaeology (Non-Indigenous/European)

Historical Archaeology (in NSW) is the study of the physical remains of the past, in association with historical documents, since the British occupation of NSW in 1788. As well as identifying these remains the study of this material can help elucidate the processes, historical and otherwise, which have created our present surroundings. Historical archaeology includes an examination of how the late 18th and 19th-century arrivals lived and coped with a new and alien environment, what they ate, where and how they lived, the consumer items they used and their trade relations, and how gender and cultural groups interacted. The material remains studied include:

- Archaeological Sites:
  - below ground: these contains relics which include building foundations, occupation deposits, rubbish pits, cesspits, wells, other features, and artefacts.
  - above ground: buildings, works, industrial structures and relics that are intact or ruined.
- cultural landscapes: major foreshore reclamation
- maritime sites: infrastructure and shipbuilding
- shipwrecks
- structures associated with maritime activities.

### Archaeological Investigation or Excavation

The manual excavation of an archaeological site. This type of excavation on historic sites usually involves the stratigraphic excavation of open areas.

### Archaeological Monitoring

Archaeological monitoring is recommended for those areas where the impact of the works is not considered to mean the destruction of significant archaeological fabric. Nevertheless the disturbance of features both suspected and unsuspected is possible. In order to provide for the proper assessment and recording of these features an archaeologist should inspect the works site at intervals they consider to be adequate and to be 'at call' in case the contractor uncovers remains that should be assessed by the archaeologist.

It is not anticipated that monitoring would impact on the planned works or unduly hold up the contractors' work schedules. If recording of features is necessary it would be carried out as quickly as possible so that any time delays are minimised.

Monitoring is a regular archaeological practice used on many building and development sites.

### Archaeological Potential

Archaeological potential is here used and defined as a site's potential to contain archaeological relics which fall under the provisions of the *Heritage Act 1977* (amended). This potential is identified through historical research and by judging whether current building or other activities have removed all evidence of known previous land use.

### Archaeological Site

A place that contains evidence of past human activity. Below ground sites include building foundations, occupation deposits, features and artefacts. Above ground archaeological sites include buildings, works, industrial structures and relics that are intact or ruined.

### Relic

Means any deposit, artefact, object or material evidence that:

- (a) relates to the settlement of the area that comprises New South Wales, not being Aboriginal settlement, and
  - (b) is of State or local heritage significance.
- (NSW *Heritage Act 1977*, Definitions, Part 1.4)

### Research Design

A set of questions which can be investigated using archaeological evidence and a methodology for addressing them. A research design is intended to ensure that archaeological investigations focus on genuine research needs. It is an important tool that ensures that when archaeological resources are destroyed by excavation, their information content can be preserved and can contribute to current and relevant knowledge.

### Research Potential

The ability of archaeological evidence, through analysis and interpretation, to provide information about a site that could not be derived from any other source and which contributes to the archaeological significance of that site and its 'relics'.<sup>2</sup>

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<sup>2</sup> Taken from *Assessing Significance for Historical Archaeological Sites and 'Relics'*, 2009:11.

## 2.0 Historical Background

### 2.1 Aboriginal People

Parramatta was occupied by the Darug Aboriginal people prior to the arrival of the British in 1788. It is part of their traditional hunting and fishing grounds. The Burramattagal clan of the Darug lived at the head of the harbour. Areas near the Parramatta River were an important area for camping and fishing for 10,000 or more years. In the fresh water they caught mullet, crayfish, shellfish and turtles and in the salt water eels, fish, shellfish and molluscs. Fish were an important part of the diet of people living in the Sydney region in pre-colonial times. Trees, stringybark (*E agglomerates*) and bangalay (*E botryoides*) provided resources for making canoes for fishing. An extensive Aboriginal presence in the area of Parramatta was documented by the British who set out from Sydney Cove to explore the Parramatta River and locate fertile land to grow the crops needed to sustain the new arrivals.<sup>3</sup>

### 2.2 Historical Background

The area of Parramatta, then Rose Hill, was settled in November 1788 and was the second British settlement on mainland Australia. Governor Phillip sent out exploring parties to survey Sydney Harbour and the river at the head of the harbour shortly after landing at Sydney Cove. On Sunday 2 November 1788 Governor Phillip and others, including marines, established a military redoubt at Rose Hill. Convicts were sent to Rose Hill to commence farming as this land was considered to be more fertile than the land near Sydney. Initially an agricultural settlement, it soon became a small town and grew in importance.

With the success of farming at Rose Hill, Phillip decided to expand the settlement. In 1790 Governor Phillip and Surveyor Augustus Alt laid out a town plan with High Street (George Street) running between the planned site of Government House and the Landing Place at the eastern end of Parramatta, near Harris Street. The township was laid out on land previously used for growing crops.<sup>4</sup> As set out, George Street was 205 feet (63 m) wide and a mile (1.6 km) long. On either side of the street huts were to be erected, each capable of containing 10 persons and at a distance of 60ft (18.5m) from each other, with a garden area allotted at the rear of each hut. Tench and Collins wrote that they were 60ft (18.5m) apart but Governor Phillip had written to the British Government they were to be 100ft (30.8m) apart. The huts were to be built of wattle and daub with thatched roof and were to be 12 by 24ft (3.7 x 7.4m). The new street and the huts were built by the convicts from July 1790. By September 1790 bricks were being fired for a barracks and store house and 27 huts were being built along High Street (George Street).<sup>5</sup>

Phillip renamed the township Parramatta by November 1791. Parramatta, meaning lots of eels, was the name given by the traditional owners.<sup>6</sup> Parramatta township referred to the area from the foot of Rose Hill and the land for one mile along the creek (Parramatta River). In a painting by Brambila (1793), an artist on a Spanish expedition, the main street has rows of modest huts regularly spaced along the street leading towards Government House (Figure 2.1). For a period Parramatta, as the main agricultural settlement and focus of convict labour, became the main township with Sydney being less important.<sup>7</sup>

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<sup>3</sup> PHALMS 2000:94; Australian Museum website.

<sup>4</sup> Tench 1979:195, Nov 16, 1790.

<sup>5</sup> David Collins, *An account of the English Colony in New South Wales* (1798); Watkin Tench, *Sydney's First Four Years* (1793).

<sup>6</sup> HRNSW 1(2):539.

<sup>7</sup> Tench 1979:258, December 8, 1791.

In time, as convicts were freed and free settlers acquired houses in the town, a less rudimentary town emerged. Huts, and later houses, were bought and sold although the possessors had no title to them apart from the right of occupancy of a piece of land assigned to them by the magistrates or the Governor. In order to regularise the situation, the crown commenced to issue leases for town allotments, both in Sydney and Parramatta, for either 14 years or 21 years duration. There was a trickle of leases issued from the 1790s onwards, usually to people with business interests in the town who were seeking security of tenure. Between 1790 and 1820 convicts had to provide their own accommodation. After this time convicts were housed in barracks rather than the earlier huts allowing the land to become available for emancipists and new settlers. Soon convicts were sent on assignment to labour on rural properties where the owners had to provide food, clothing and accommodation. Often married convicts were assigned to their free or emancipist spouse or relative.<sup>8</sup>

After the replacement of Governor Lachlan Macquarie in 1821 by Sir Thomas Brisbane and in the wake of the Bigge commission into the colony, the Surveyor-General, John Oxley, was delegated to create order from the chaos of town tenures across the colony. After Parramatta was comprehensively mapped in 1823, in order to establish the identity of the holders of town lands, many occupiers were offered leases from the crown, which they accepted. All leases were dated as 30 June 1823. On the basis of these leases, householders in Parramatta could apply for a grant of land if they had erected buildings worth over £1,000 or, alternately, they could obtain a grant by the payment of 21 years quit rent.

Since the Crown took much greater interest in the nature of landholding in Parramatta after 1823, there is consequently far greater information about the nature of buildings, improvements and the identity of landholders in Parramatta after that date.



**Figure 2.1: Fernando Brambila's view of George Street showing convict huts aligned along George Street (middle ground) with Government House (middle left), 1793. This is the original drawing given by the Spanish visitors to Lieutenant-Governor Grose who sent it back to George III. The four figures in the middle ground are probably Spanish naval officers. British Library, Maps Library.**

<sup>8</sup> Kass in Casey & Lowe 2002; Liston in PHALMS 2000:97.



**Figure 2.2: Detail of Fernando Brambila's view of George Street showing the convict huts aligned along George Street, 1793. British Library, Maps Library, copy in Mitchell Library, SLNSW.**

Interpretations of High Street usually describe it as a very wide avenue and Watkin Tench in November 1790 observed ironically that 'it is to be of such breadth as will make Pall-Mall and Portland Place "hide their diminished heads"'.<sup>9</sup> Yet this is not the image presented by early illustrations of Parramatta (Figures 2.1, 2.2). While the houses are set back from the road there were probably gardens in the area between the road and 'convict hut'. Brambila does indicate the use of ditches (right foreground) which appear to have also operated as stormwater drainage lines.

The typical interpretation of a wide High Street is based on descriptions and plans. It has been interpreted by Morton Herman as Phillip laying out a grand boulevard as in a Renaissance or more probably a Baroque layout. Macquarie then redesigned this alignment and caused the houses to be placed on the narrower street alignment.<sup>10</sup> Perhaps this interpretation needs to be considered further in the light of these two recently published images. Previous images showing High Street were a single painting or lithograph; the latter must always be treated with suspicion if it is the only evidence available for what an area looked like.<sup>11</sup> Higginbotham in his various reports has adopted the interpretation of the streets and layout as being ramshackle. In the PHALMS report it was noted that Phillip's grand avenue 'was never really achieved. Instead a haphazard development on larger than normal allotments was a feature of the town until the mid-nineteenth century'.<sup>12</sup> The CMP for the Hospital site calls it a 'landscape of control' and notes that the 'tight regimentation reflected the fact that the majority of settlers were convicts and the colonial government sought to impose order on them...The orderly settlement of Parramatta went hand-in-hand with government policy'.<sup>13</sup> This is an issue for further debate which the archaeological evidence of the convict huts may assist in furthering our understanding.

One tentative interpretation is that with the granting of further leaseholds there was a need to fence individual property boundaries because of the 'private ownership' of these lands rather than those occupied by convicts. In addition, on Evans' c. 1804 plan (Figure 2.3), lines are used to represent the alignment of the original huts, the presence of fences within the original 205 ft (63 m) roadway and a narrower road alignment. It is likely that Macquarie was responding to this practice as established (or allowed) by King. Further evidence supporting the new use of the front part of the properties is that it was noted in March 1791 that the rear yards of the convict huts were to be used for individual gardens and there was no mention of the front yards.<sup>14</sup> In addition, the 1793

<sup>9</sup> Tench 1793 (1979):195.

<sup>10</sup> Kass et al. 1996:22-23.

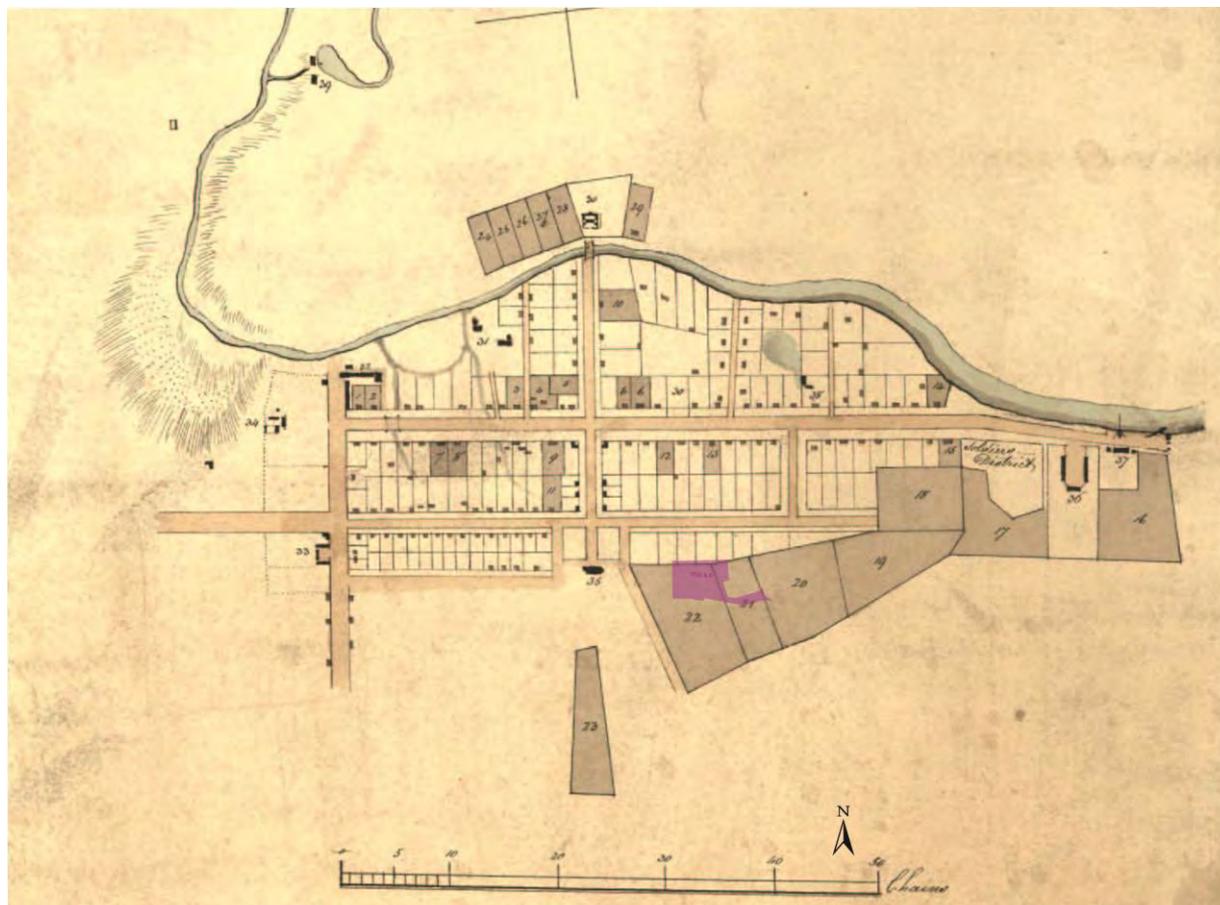
<sup>11</sup> Casey 2002: ch 5, 62-65.

<sup>12</sup> PHALMS 2000:61.

<sup>13</sup> DPWS 2003:23-24.

<sup>14</sup> HRNSW 3:775.

drawing is not clear on this issue but suggests this space is being used in relation to the houses rather than as part of the public road. Governor Phillip had of course left the colony some four months earlier and his instructions may no longer have been adhered to, as happened with the Sydney Domain.<sup>15</sup>



**Figure 2.3: Evans' plan of Parramatta, 1804. The approximate location of the study area is shaded pink. National Archives (UK) CO 700/NewSouthWales22.**

In 1802 François Péron described Parramatta as:

Seated in the middle of a fine plain on the banks of a river of the same name, which can be ascended by small vessels as high [far] as the town itself. It is not so large as Sydney Town but contains about a hundred and eighty houses, which form a grand street, parallel with the river...At one of the extremities of Parramatta are barracks, capable of accommodating two hundred and fifty to three hundred infantry...The whole population of Parramatta, including the garrison, and the inhabitants of the neighbouring farms, is estimated at from fourteen to fifteen hundred souls.<sup>16</sup>

In 1814 Governor Macquarie laid out a number of additional streets in Parramatta, including O'Connell, Marsden and Phillip streets as well as a number of other streets (Figure 2.6). The main street grid for Parramatta, other than the original early streets, mostly dates from 1814.

<sup>15</sup> Casey 2002.

<sup>16</sup> Translation in Currey 1966:51.

### 2.2.1 Portion 196, Granted to D'Arcy Wentworth

The PS5&6 study area is within land granted to D'Arcy Wentworth. In 1796, D'Arcy Wentworth returned to New South Wales after acting as surgeon at Norfolk Island. On 18 October 1799, he was given a lease, for 14 years of 6 acres 20 rods on the east side of the main road leading to Sydney in the town of Parramatta (Figure 2.4). The Quit Rent was to be 5/- per annum.<sup>17</sup>

On 24 October 1799, Lieutenant John Piper, of the New South Wales Corps, was given a Lease for 14 years, of 3 acres 135 rods to the east of this, 'situate between the allotments leased to William Balmain and Mr D'Arcy Wentworth', in Parramatta (Figure 2.4). The lease was given for building purposes. The Quit Rent was to be 5/- per annum.<sup>18</sup>

In May 1803, Mr Wentworth was reported as having bought lot 28 at an auction, which comprised a 'Town Lease of 3 Acres 4 Roods ... at Parramatta, for 22/-'. This appears to coincide with Piper's lease.<sup>19</sup> In 1804, Captain John Piper owed a total of £915/12/6 to D'Arcy Wentworth for goods etc. Offsets reduced this debt to £639/14/8.<sup>20</sup> Evans' Map of Parramatta of 1804 shows the position of Piper's (21) and Wentworth's (22) leases (Figure 2.4).<sup>21</sup>

Governor King extended Wentworth's lease for a further 14 years from 1 January 1806, 'In consequence of the house and other improvements, Mr Wentworth has made on his lease'.<sup>22</sup> On 31 August 1819, this land was formally granted to D'Arcy Wentworth, esquire. It comprised 31 acres in the District of Parramatta and appears to have incorporated Piper's land as well. This grant is now known as Portion 196, Parish of St. John.<sup>23</sup> G C Stewart's 1823 Map of Parramatta (Figure 2.5) showed a number of small cottages had been built fronting Macquarie Street, with the Market Place (c.1812) and Public Pound (numbered 179 on plan, but no built structures shown). There was no structures shown on Wentworth's estate in 1823 and the land appears to be vacant.



Figure 2.4: The lots on Macquarie Street were already laid out and the early leases in the darker colour were made to D'Arcy Wentworth (22) and Captain Piper (21). Evans, *Plan of the Township of Parramatta 1804*. National Archives (UK) CO 700/NewSouthWales22.

<sup>17</sup> LTO Grants Reg 2B, No 849.

<sup>18</sup> LTO Grants Reg 2B, No 363.

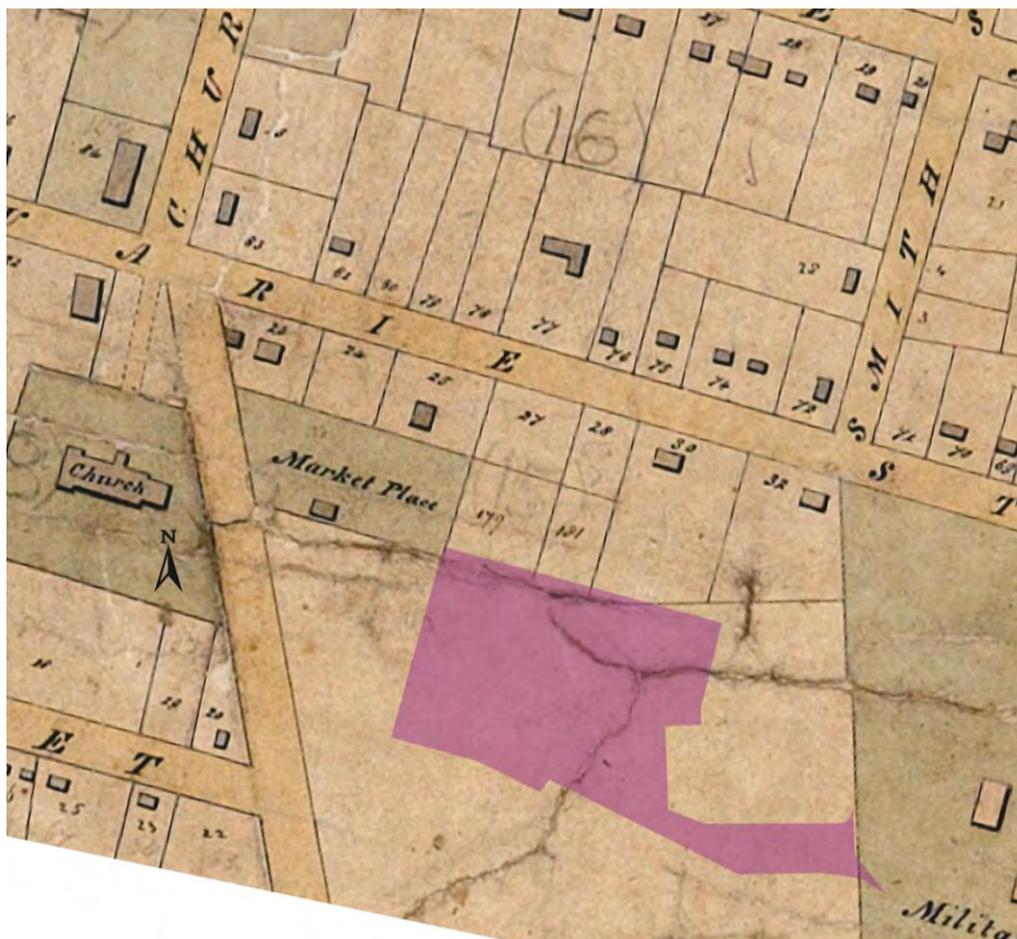
<sup>19</sup> *Sydney Gazette*, 29 May 1803, p 4.

<sup>20</sup> Piper Papers, M L A254, Vol 1, pp 29-31.

<sup>21</sup> G W Evans, *Plan of the Township of Parramatta*, 1813 (actually 1804), ML Map M2 811.1301/1813/1.

<sup>22</sup> LTO Grants Reg 2B, No 849.

<sup>23</sup> Grants 11 No 58.



**Figure 2.5: G C Stewart’s plan of 1823 shows the location of the Market Place. The annotation ‘179’ is listed as The Pound, while ‘181’ is listed as belonging to R Bateman. These lots are not discussed in detail in this report, as the majority of these properties fall outside the PS5&6 study area. There are no structures shown within the PS5&6 study area (highlighted pink). SR Map 4907.**

In his will of 5 July 1827, D’Arcy Wentworth left various properties to his son William Charles Wentworth. These included the dwelling houses and premises at Parramatta, on 31 acres, then occupied by ‘Mr Bucknell’.<sup>24</sup> D’Arcy Wentworth died on 7 July 1827. On 22 October 1829, William Charles Wentworth mortgaged 31 acres at Parramatta with a capital message thereon to Lieutenant-Colonel Thomas Shadforth for £500 for 2 years at 10%.<sup>25</sup> This loan was discharged on 4 November 1848.<sup>26</sup>

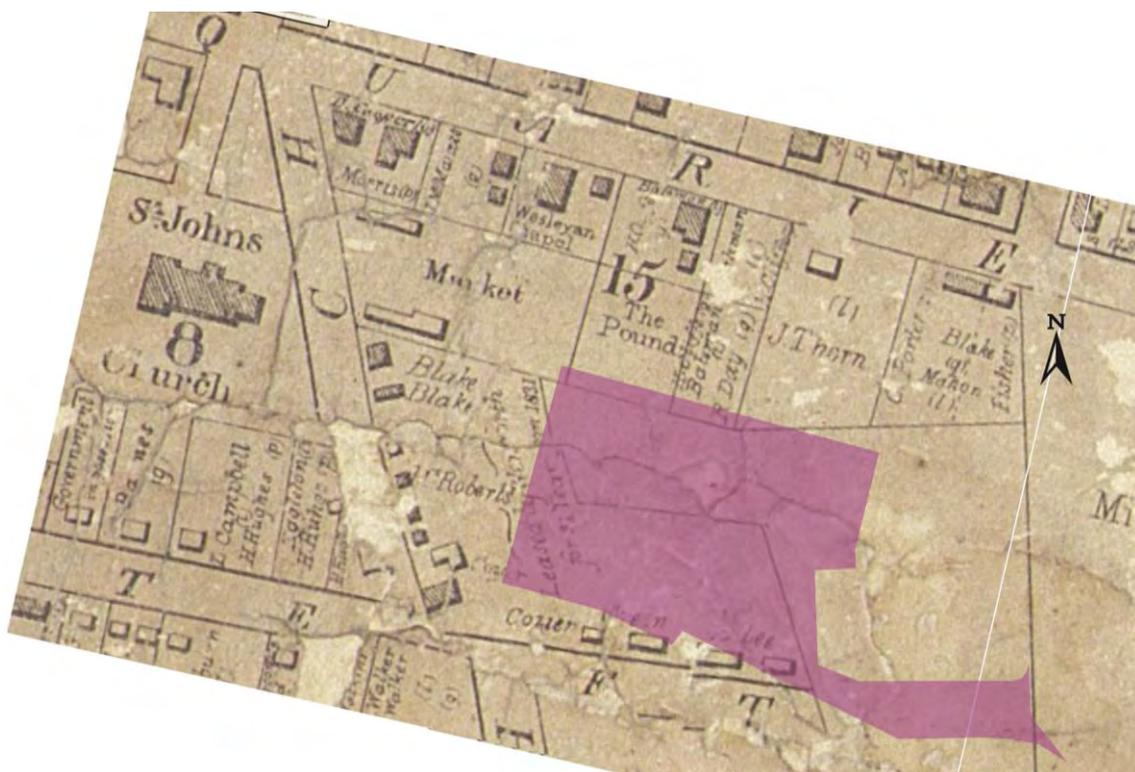
During the 1830s, William Charles Wentworth leased some land for 21 years on the Sydney Road and on the continuation of Argyle Street, east of Sydney Road/Church Street. These leases were all for parcels of land north of the current alignment of Argyle Street and north of the current railway line.<sup>27</sup> Brownrigg’s 1844 Map of Parramatta showed that a series of buildings have been erected along the Church Street frontage, and four houses along the eastern extent of Argyle Street, to the south of the modern alignment of Darcy Street and the railway (Figure 2.6).

<sup>24</sup> Recited in LTOD, No 730 Bk 80.

<sup>25</sup> LTOD, No 177 Bk C.

<sup>26</sup> LTOD, No 998 Bk 16.

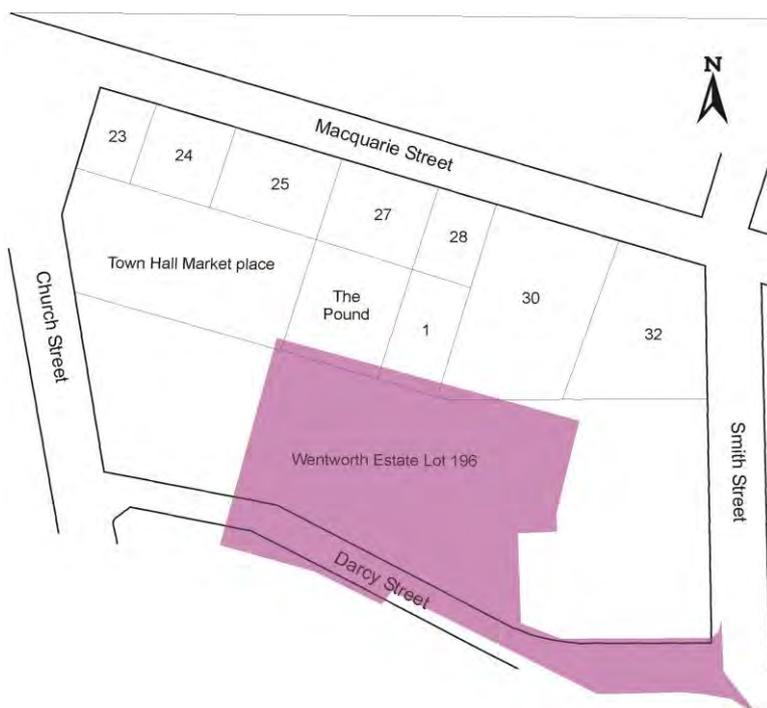
<sup>27</sup> LTOD, No 629 Bk H: No 957 Bk I.



**Figure 2.6: Brownrigg's 1844 map of Parramatta showing the increasing development along Church Street and the four houses along the eastern extent of Argyle Street. The tear on this map has slightly distorted the Church Street part of Parramatta Square and there is likely to be some error in the fit of the study area. ML, SLNSW.**

### 2.2.2 Wentworth Estate Leases

In 1831, William Charles Wentworth leased various parts of the land, facing Church Street and the continuation of Argyle Street (Figure 2.8). The history of each is dealt with in turn below. These buildings were marked on Brownrigg's Plan of Parramatta of 1844 which is also interpreted on Figure 2.7 (Figure 2.6).



**Figure 2.7: Location of the Wentworth Estate, Lot 196. Study area is shown in pink. Redrawing of the 1844 plan to illustrate the property boundaries more clearly.**

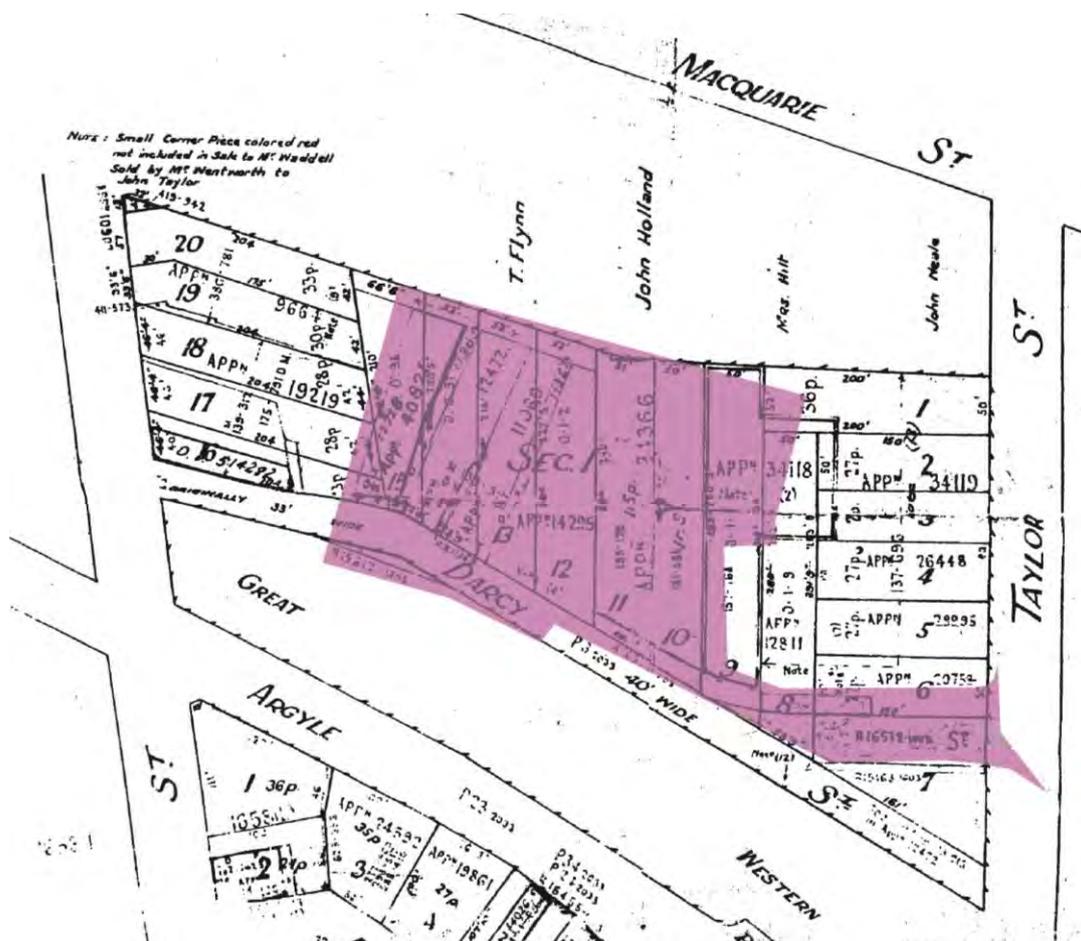


Figure 2.8: This plan shows the later divergence of the layout of Section 1 from its original layout. Real Property Application numbers reveal how lots were realigned with a frontage to Darcy Street. The widening of Darcy Street by the resumption of some of the land on the eastern part of Section 1 also affected the form of the allotments. Wentworth Estate Cadastral Plan. LTO Plan Room, DP 979263.

None of these parcels of land were given a parcel identifier. To assist in following the history of these leases, the following diagram acts as a key (Figure 2.9).

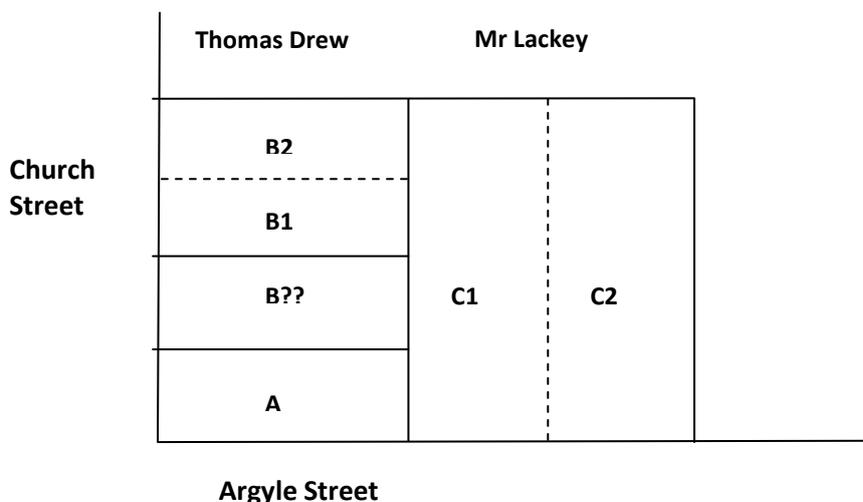


Figure 2.9: Schematic map showing the early Wentworth leases prior to the 1873 subdivision.

### Lease A<sup>28</sup>

This land on the corner may have been leased by Wentworth to William Cosier about 1832, though a later recital stated that this land was leased to 'James Burns'.<sup>29</sup> Cosier's name is shown on this site on Brownrigg's plan (Figure 2.6). On 2 October 1849, William Cosier, blacksmith of Parramatta, assigned his equity in this lease to Alfred Kennerley, of Retreat Farm, Co Cumberland, esquire, along with 47 rods in Macquarie Street. This lease was described as 60 rods bounded on the north by Bryan McGroder, 12 rods, on the west by the Sydney High Road, 5 rods, on the south by the continuation of Argyle Street, 12 rods and on the east by Charles Lindbeck, 5 rods, with a messuage thereon. Consideration for the assignment was £150.<sup>30</sup>

Four years later, on 11 June 1853, William Charles Wentworth signed a lease for 7 years, to Alfred Kennerley, of the Retreat near Bringelly, for an area of land here. The deed cited a previous lease to James Burns of 1 December 1831 at £4/10/0 per annum, which Kennerley now held. A new lease for 7 years to commence from 1 January 1853 at £6/15/0 per annum was agreed by this deed. The deed description is identical to that of Cosier's assignment of 1849.<sup>31</sup> No deeds linking Byrnes to this site have been found. James Byrnes had been described as a shopkeeper in a petition of 30 December 1833.<sup>32</sup>

On 9 July 1856, Alfred Kennerley, now of Tunbridge Wells, England, esquire, leased this site for 3½ years to John Holland, of Parramatta, licensed victualler. The land included the 'Star', which was located here for three and half years from 1 July 1856, at £6/0/0 per annum.<sup>33</sup> This site was resumed for the railway (which is probably why the lease was for only 3.5 years) and Holland shifted his licence north to the former Baker's Arms Inn originally conducted by Thomas Blake.<sup>34</sup> Blake's property can be seen on Brownrigg's map where the hotel still stands today (Lots 19 & 20 Section 1). As shown in the resumption plans this property is now under Parramatta Railway Line (Figure 2.10).

### Lease B

The next lease, running north from Argyle Street, was made out on 31 December 1831 for 21 years by Wentworth to Bryan McGroder. The land measured 60 rods, and was bounded on the north by Thomas Drew, 12 rods, on the west by the Sydney High Road, 5 rods, on the south by James Byrnes, and on the east by Charles 'Limbeck'. The rent was £4/10/0 per annum.<sup>35</sup> McGroder sold this lease as separate parcels, which are also shown on Brownrigg's plan (Figure 2.6).

This property is underneath the railway line and/or within Darcy Street as shown in the resumption plans (Figure 2.10, Figure 2.11).

### Lease B1

On 10 August 1836, Bryan McGroder assigned part of his lease to James McRoberts for £12/10/0 and a yearly rent of £2/10/0. This land measured 27 rods on the Sydney Road. It was noted that it had its front on Sydney Road, 30 feet, and was 12 rods deep. It was bounded on the east by Charles Linbeck and was bounded on the south by William Cosier and on the north by James Byrne.<sup>36</sup> James McRoberts mortgaged this lease by demise, to William Selley (sic, i.e. Shelly) for £50 at 10% on 17

<sup>28</sup> This property is within Parramatta Rail Link lands and is outside the study area. MTC.

<sup>29</sup> LTOD, No 706 Bk 44.

<sup>30</sup> LTOD, No 833A Bk 17.

<sup>31</sup> LTOD, No 706 Bk 44.

<sup>32</sup> CSIL 34/273, SRNSW 4/2221.2.

<sup>33</sup> LTOD, No 708 Bk 44.

<sup>34</sup> K & S Brown, *Parramatta; A town caught in time*, 1870, Hale & Iremonger, Sydney, 1995, p 57.

<sup>35</sup> LTOD, No 629 Bk H.

<sup>36</sup> LTOD, No 290 Bk K.

September 1836. Repayment was due on 17 September 1837.<sup>37</sup> However, no reconveyance has been found, not an unusual occurrence at that time, when many re-conveyances were not registered. Most of this property is probably located within Darcy Street.

### Lease B2

The northern part of McGroder's lease was assigned by him on 30 June 1835 to James Byrns [sic]. It measured 27 rods, on the Sydney Road. Its front faced Sydney Road, 32 feet, and it was 12 rods deep, and was bounded on the rear by 'Limbeck', 44 feet. The sides were bounded by Thomas Drew and Bryan McGroder. Consideration for the sale was £9.<sup>38</sup> When James Byrnes assigned this part of the lease to Isaac Titterton on 12 January 1837, its measurements were slightly differently described. It stated that the land faced Church Street, 32 feet, and that land of Charles Lindbeck bounded its rear and its sides were bounded by Thomas Drew and Bryan McGroder. This time, there was a messuage, tenement or dwelling thereon. The land also sold for much more, namely £50. There was a proviso in the assignment to allow Byrnes to repurchase the land and house at the end of two years, giving Titterton three months notice.<sup>39</sup>

Titterton was a coach proprietor and mail contractor. In November 1835, Titterton had tendered for the mail contract between Parramatta and Penrith. He was successful but did not take it up since he did not win the Windsor contract as well.<sup>40</sup>

On 12 June 1837, Isaac Titterton of Parramatta, coach proprietor, assigned this lease to James McRoberts, gent of Parramatta. The measurements were the same and the messuage, tenement or dwelling was also still specifically mentioned. It was assigned for a sum of £60.<sup>41</sup> Another assignment of this land dated 1 February 1838 was also registered, though it was by James Byrnes who had already assigned it to Titterton. This time, he assigned it to James McRoberts. This time the land was described as being bounded by Church Street, 32 feet, and its rear by Charles Lindbeck 44 feet and was bounded on the sides by Thomas Drew and Bryan McGroder. The consideration was a more substantial sum of £105. McRoberts was to hold it for the residue of term, which expired on 31 December 1852.<sup>42</sup> This deed may simply have cleared McRoberts' title. It does not appear to refer to any other parcel of land.

James Byrnes had diversified his business interests in the 1830s. By 1839 and 1840, he was advertising a number of livestock auctions to be held at the Market Place in Parramatta, i.e. just north of this site.<sup>43</sup> It should be noted that there was a discrepancy of 6 rods between the original lease of 60 rods and the two assignments of the lease, both of which measured 27 rods.

This early lease is probably too far to the north to be within the study area and is the group of buildings north of Darcy Street on the overlay plan leased to McRoberts (Figure 2.6).

### Lease C

Land to the rear of these two leases, facing Argyle Street, was leased on 28 May 1832 for 21 years to Charles Lindbeck. The land measured 120 rods, and was bounded on the west by James Burns and Bryant McGroder's lots, 10 rods, on the south by the continuation of Argyle Street 12 rods, on the east 10 rods, and on the north 12 rods. The rent was £6/0/0 per annum.<sup>44</sup> Lindbeck was a recent arrival in Parramatta. In 1827, Mary A Lindbeck the daughter of Charles and Jane Lindbeck,

<sup>37</sup> LTOD, No 367 Bk K.

<sup>38</sup> LTOD, No 629 Bk H.

<sup>39</sup> LTOD, No 848 Bk K.

<sup>40</sup> CSIL 35/9927, SRNSW 4/2295.

<sup>41</sup> LTOD, No 494 Bk L.

<sup>42</sup> LTOD, No 414 Bk M.

<sup>43</sup> *Australian*, 9 Jan 1839, p 4; 20 Aug 1840, p 3; 10 Sept 1840, p 2.

<sup>44</sup> LTOD, No 627 Bk H.

was baptised at St Phillip's Sydney.<sup>45</sup> When his son Thomas W Lindbeck was baptised in 1830 it was at St John's, Parramatta.<sup>46</sup>

Lindbeck mortgaged the lease to Henry Bailey on 1 November 1836 for £40 at 15%.<sup>47</sup> No reconveyance of this has been located. This was followed on 6 July 1837, when Charles Lindbeck of Parramatta, carpenter, mortgaged the lease to Luke Ady, of Parramatta, carter, for £30.<sup>48</sup> On 25 February 1838, Charles Lindbeck and his mortgagee, Luke Ady, assigned the lease to Benjamin Lee for £60.<sup>49</sup> B Lee appears in this position on the Brownrigg plan of 1844 (Figure 2.6). It is uncertain where Lindbeck went after this, but in 1856, the death of a Charles Lindbeck, aged 70, was recorded at Braidwood.<sup>50</sup>

These Argyle Street structures are currently within the railway lands, although this is more likely true for the easterly properties while the rear or northern property line was indicated for the western properties.

### Lease C1

Prior to Lindbeck's assignment of what was described as the whole lease to Benjamin Lee, he assigned part of the lease on 27 May 1837 to Robert Green. This land measured 60 rods, and was bounded on the south by the continuation of Argyle Street 64 feet, on the west by Bryant McGroder and James Byrnes, on the east by other land held by Lindbeck, and on the back (north) by Mr Lackey. The assignment was for a sum of £100. It was subject to rent of £3 per annum to William Charles Wentworth, which was half of that in the original lease for the whole 120 rods.<sup>51</sup> Green was shown in this position on Brownrigg's plan (Figure 2.6).

These Argyle Street buildings are currently within the railway lands.<sup>52</sup>

### Lease C2

This may simply be the area assigned to Benjamin Lee, which was stated in the assignment as 120 rods, though this may have been in error. See Brownrigg's plan (Figure 2.6).

These Argyle Street buildings are currently within Darcy Street and the properties extend north into the study area and south into the railway lands.<sup>53</sup>

### Lease D

This may be a phantom lease but the recital in Book 44 No 706 seems to suggest that such a lease existed (Figure 2.9). It may be that it is the same as William Cosier's (see Lease A), plus much of the area in B1. When Alfred Kennerley renewed his lease over 'Lease A' he received a lease of 1 December 1831, to James Burns for 21 years at £4/10/0 per annum. No area was stated in this description.<sup>54</sup>

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<sup>45</sup> BDM indexes.

<sup>46</sup> BDM indexes.

<sup>47</sup> LTOD, No 498 Bk K.

<sup>48</sup> LTOD, No 726 Bk L.

<sup>49</sup> LTOD, No 625 Bk M.

<sup>50</sup> BDM indexes.

<sup>51</sup> LTOD, No 424 Bk L.

<sup>52</sup> Godden Mackay Logan 2003: Fig 5.2.

<sup>53</sup> Godden Mackay Logan 2003: Fig 5.2.

<sup>54</sup> Recited in LTOD, No 706 Bk 44.

### 2.2.3 Wentworth Estate and Railway Resumptions

In 1858, detailed plans were drawn-up for the land resumption required for the new railway (Figure 2.12). Once the railway had been constructed through Wentworth's land, he conveyed title for the part needed by the railway. Previously on 3 August 1861, he and his wife Sarah had conveyed an interest in this land to James Norton, senior, solicitor, as trustee to allow the land to revert to his son Fitzwilliam Wentworth after William's death. On 15 August 1861, William Charles Wentworth conveyed the land for the railway to the Commissioners for Railways. An associated plan on the deed showed the nearby buildings on Wentworth's grant plus the buildings where the line crossed his land (Figure 2.10, Figure 2.11).<sup>55</sup>

The eight structures shown on the 1858 plan (Figure 2.12) within the resumption area (now below Darcy Street and the railway lands) roughly correlate with four of the houses shown on the 1844 plan (Figure 2.6). It appears as though new structures had been erected on the leases held by Cosier, Green and Lee prior to the construction of the railway. Much of the central section of the PS5&6 study area is still vacant at this time, however, the 1858 plan shows details on the creek or Town Drain running across the northwest corner and two ponds (Figure 2.12). The creek/drain and ponds suggest that the entire area was very damp. It is thought that the original town drain was located within this creekline. The ponds were either original swampy areas, or deeper areas of water that had been reformed to make the ponds accessible to cattle grazing on the Wentworth land and acted as groundwater sinks so the surrounding land could be developed.



Figure 2.10: Working plan of the railway resumption showed only those buildings affected by the resumption and those in the immediate vicinity. Parramatta Railway Resumption 1858. Parramatta Railway Plan, R 561/4, W3, SRNSW.

<sup>55</sup> LTOD, No 174 Bk 74.

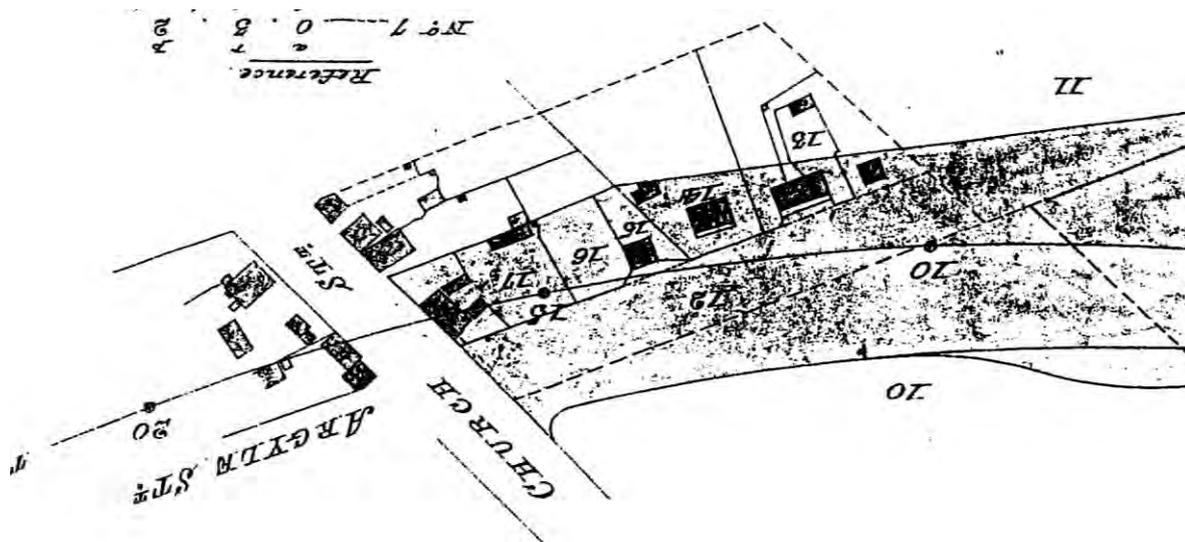


Figure 2.11: When W C Wentworth conveyed part of his land to the Railway Commissioners, the deed had better detail of the buildings on the affected land. For location of study area see Figure 2.14. Wentworth's Land 1861, LTO, No174, Bk74.

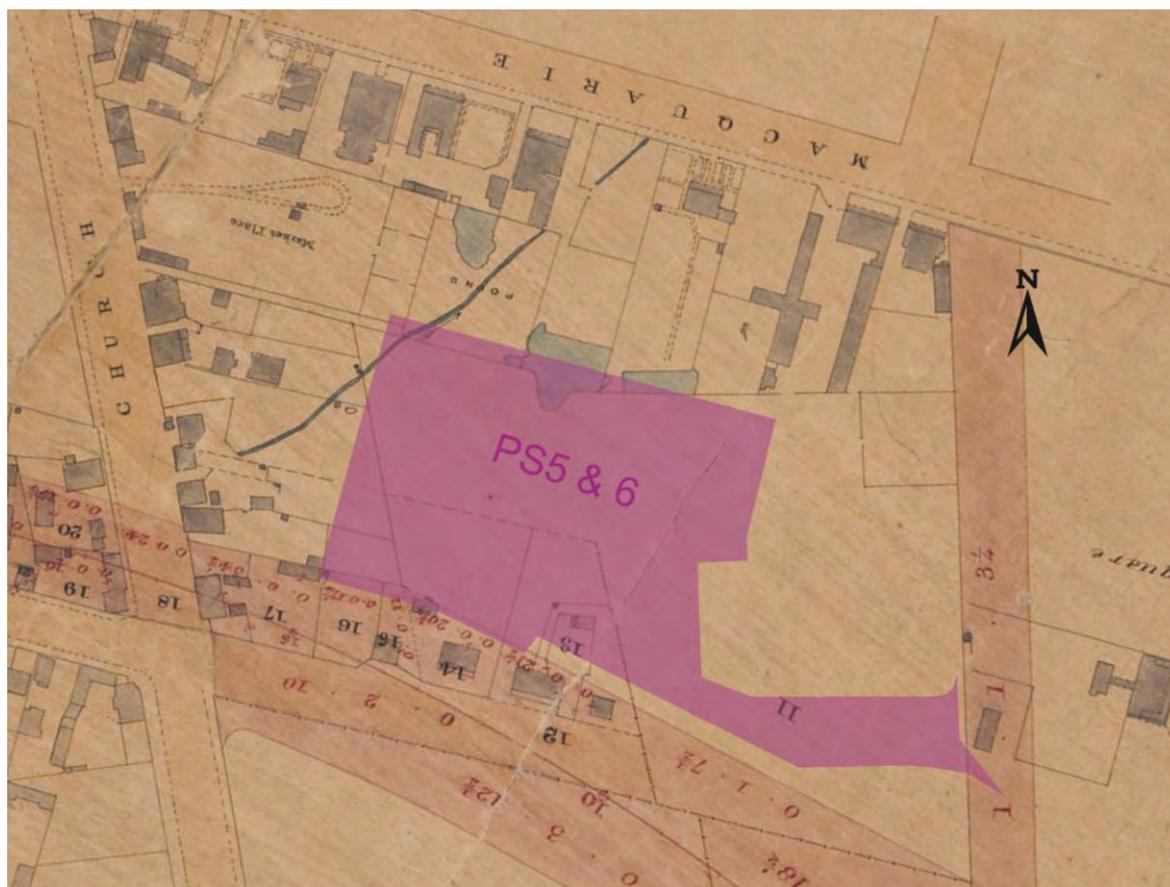


Figure 2.12: Parramatta Railway Resumption 1858 showing the buildings along Argyle Street demolished for the new railway. Note the two 'ponds' in the northern part of the study area and the line of the creek or drain across the northwest corner. By this time the northern section of the creek should have been channelized as a drain in the 1840s. It is thought the drain cuts through the northwest corner of PS5&6. The study area is shaded pink. Plan 965/2, NID, Railway Archives.





**Figure 2.14: Redrawing of the lots within Wentworth's subdivision. The study area is shaded pink and includes all of lots 10-14 and parts of lots 6-9 and 15-17.**

### 2.2.5 Lots 11 to 15, Section 1, Wentworth's Estate, Parramatta

The rear of the land held by Charles Lindbeck and then by Robert Green and Benjamin Lee falls onto these allotments (Figure 2.8, Figure 2.17). As this street frontage did not exist prior to the 1870s all buildings on this frontage date to after the auction of the separate lots in 1873. By the 1890s there were substantial structures in this group of lots. There is a group of semi-detached houses with some semi-industrial and commercial structures towards the western end of Darcy Street (Figure 2.14). These are probably the timber merchant buildings shown in Figure 2.15, Figure 2.16.

### 2.2.6 Darcy Street

Darcy Street was created with the resumption of the strip of land along Argyle Street for the construction of the railway (Figure 2.9). A new series of property boundaries were established (Figure 2.10). Many of these lots were auctioned in the 1870s. During the later 19th and early 20th century, buildings associated with the Darcy Street frontage began to extend into this area and by 1895 it was shown as being subdivided as the rear yards of a series of properties (Figure 2.17). The houses were not numbered prior to the 1920s, when they were numbered in sequence from 2 individually to 32. Current numbering only shows even house numbers, with some of the shop fronts having individual numbers and some having two or three shop fronts to a single street number.

The 1895 plan shows eleven houses fronting Darcy Street, ten of which have detached kitchens at the rear. These property boundaries (modern street numbers 10-28 Darcy Street) were changed from the original subdivision lots to better face or front Darcy Street. There is a long building along the eastern side of subdivision lot 10 (modern street number 30-38 Darcy Street) that is likely a

workshop or industrial space, rather than a residential building. It has two small outbuildings marked 'Boiler' and 'Stables' as well as a cesspit at the rear of the property

### 12 to 18 Darcy Street

Five buildings were erected along Darcy Street (Nos. 12-26), each a substantial two-storeyed brick building with iron 'M'-sectioned roofs. Between 1865 and 1933 these buildings housed a variety of tradesmen, including William Vidler (butcher, 1900), John Muston and Son (florist, 1902), Mrs McIntosh (fruiterer, 1910), R. Thearle (bootmaker, 1902), George (auctioneer, 1900-1910), George Ralph (No 4, cabinetmaker, 1900-1933), J H Ralph (No 2, auctioneer, 1933), Francis E Ralph (No 8, 1923-1933), James Ralph (No 11, 1923) and J Howell (carter, 1885).

It is uncertain as to when the trade or retail shop frontages were added to the houses.<sup>57</sup> Two of the extant properties along Darcy Street appear to be modified versions of the original houses. According to modern street numbers these are nos 12, 14, 16 and 18 (Figure 1.7). These have had new facades built and the rear outbuildings were demolished where the laneway passes to the north of these houses. According to *Sands Directory* (Appendix 1) these were probably nos 4 to 10 by 1900 when no. 4 was occupied by one of the Ralph's and the other three by residential occupants. Mrs Patience Hall was a long-term resident at no. 6 and operated a boarding house there for some of the period (1900, 1910, 1914, 1920).

### 20 to 26 and 28 Darcy Street

Some of the houses shown on the 1895 plan appear to have been demolished and replaced by new buildings in the 20th century (Figure 1.6, Figure 2.17). A small building was erected at no. 28 Darcy Street in the later 20th century. These houses were nos 12 to 20 in the 1900 and were mostly used for residential purposes until 1925 when commercial uses of nos 14 and 16 were indicated in *Sands Directory* (Appendix 1).

### 28-32 Darcy Street

The front or southern part of this property is currently occupied by the Parramatta City Council's Administrative building. It previously was the site of Hart and Hitchcock and L Harper and Co Ltd timber yards. Hart's Timber and Hardware opened on the site as early as 1858, following the resumption and subdivision of the land (Figure 2.12). The 1895 plan shows extensive buildings along the eastern boundary and extending to the north, including a residence (no. 22) along the western boundary in which William Hart resided between 1890 and 1910.<sup>58</sup> These buildings would have been associated with the timber mill infrastructure which included a timber mill, joinery shop and other associated works (Figure 2.15, Figure 2.16). The timber mill remained on this site until the 1930s. The timber mill buildings were demolished for the IAC-Citicorp building, the current council administrative building. Council moved into this building in 1995.<sup>59</sup>

<sup>57</sup> McClymont 2003: 33-34.

<sup>58</sup> Full list given in Appendix 1: Sands Directory.

<sup>59</sup> McClymont 2003:31; Kass et al. 1996:387.



Figure 2.15: Photo of the Hart, Hitchcock & Co Timber Merchants at 28-32 Darcy Street c. 1890-1910. Parramatta Heritage Centre, Local Studies Collection, LSOP 796.



Figure 2.16: This sketch illustrates the nature of the buildings at the rear of Hart, Hitchcock & Co Timber Merchants. Parramatta Heritage Centre, Local Studies Collection, LSOP 603.

### The Ralph Family and Darcy Street

Members of the Ralph family occupied a number of buildings along Darcy Street, starting with Sam, who operated a tinsmith business in 1885. In the 1930s the Ralph family instigated the construction of an arcade that ran between Darcy and Church Streets, with a high roof and glass domed skylight. Several small businesses, including a florist, tobacconist, dry cleaner, boot repairers, fruiterers and milkbars, operated in the arcade. In the late 20th century the arcade was purchased by George Psaltis. A prominent member of the Greek community in Parramatta, Psaltis owned the fruit shop

adjoining the Church Street entrance and rebuilt and modernised the arcade. The Ralph family erected three corrugated iron-clad buildings, used as general markets and auction rooms, at the rear of Nos 8-10, 12-14 and 16-18 Darcy Street (Figure 2.19).<sup>60</sup>

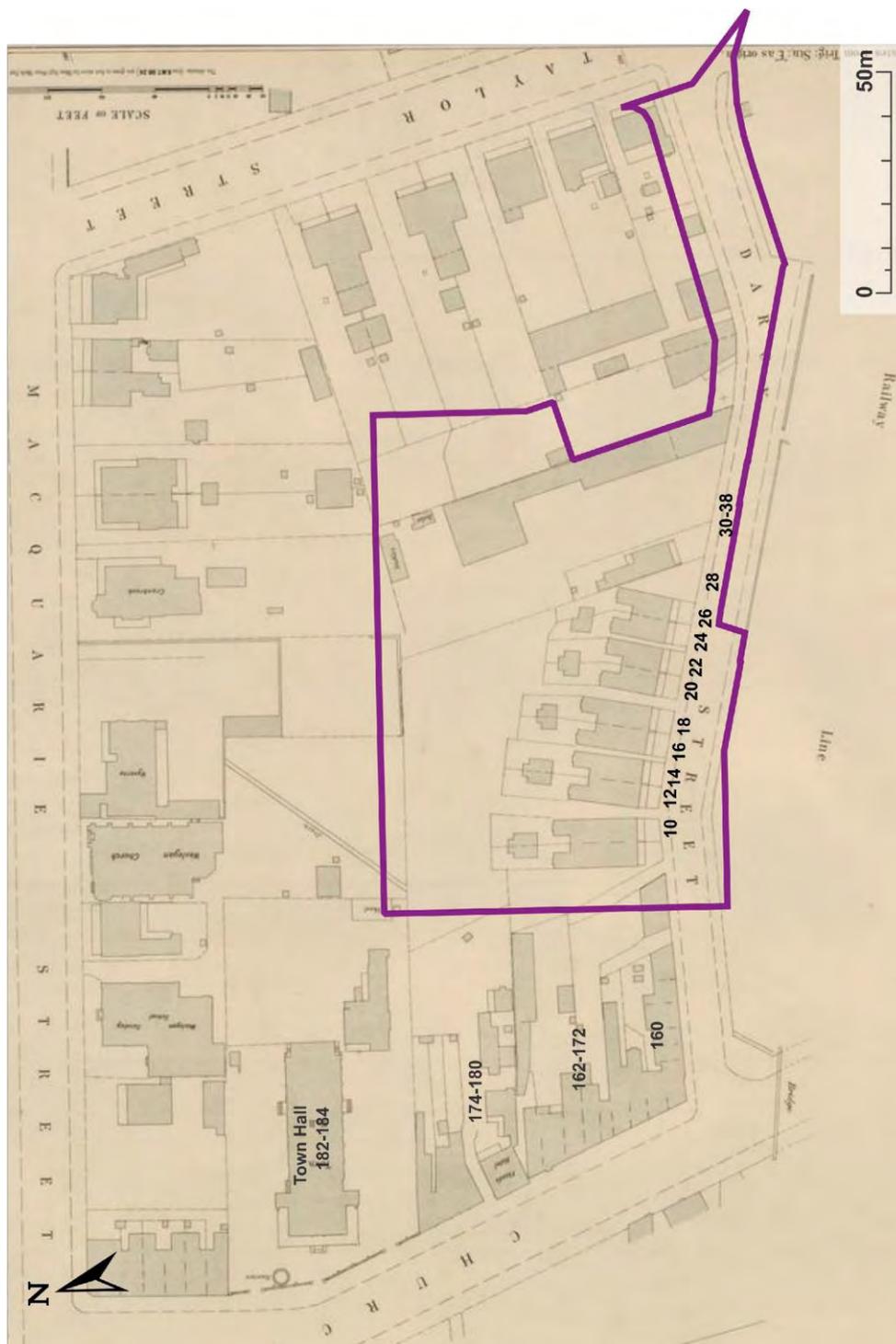


Figure 2.17: The published Detail Survey Sheet of 1895 showed the houses along Darcy Street at this time. The modern street numbers are given in black. It also shows a small section of the Town Drain running across the northwest corner of the study area. The central section of the block, now Civic Place and the Library, remained mostly undeveloped. Compare with Figure 4.3 for modern property boundaries. *ML Parramatta Detail Survey, Sheet 18, 1895 SLNSW Z/M Ser 4 811.1301/1.*

<sup>60</sup> McClymont 2003:34-35.

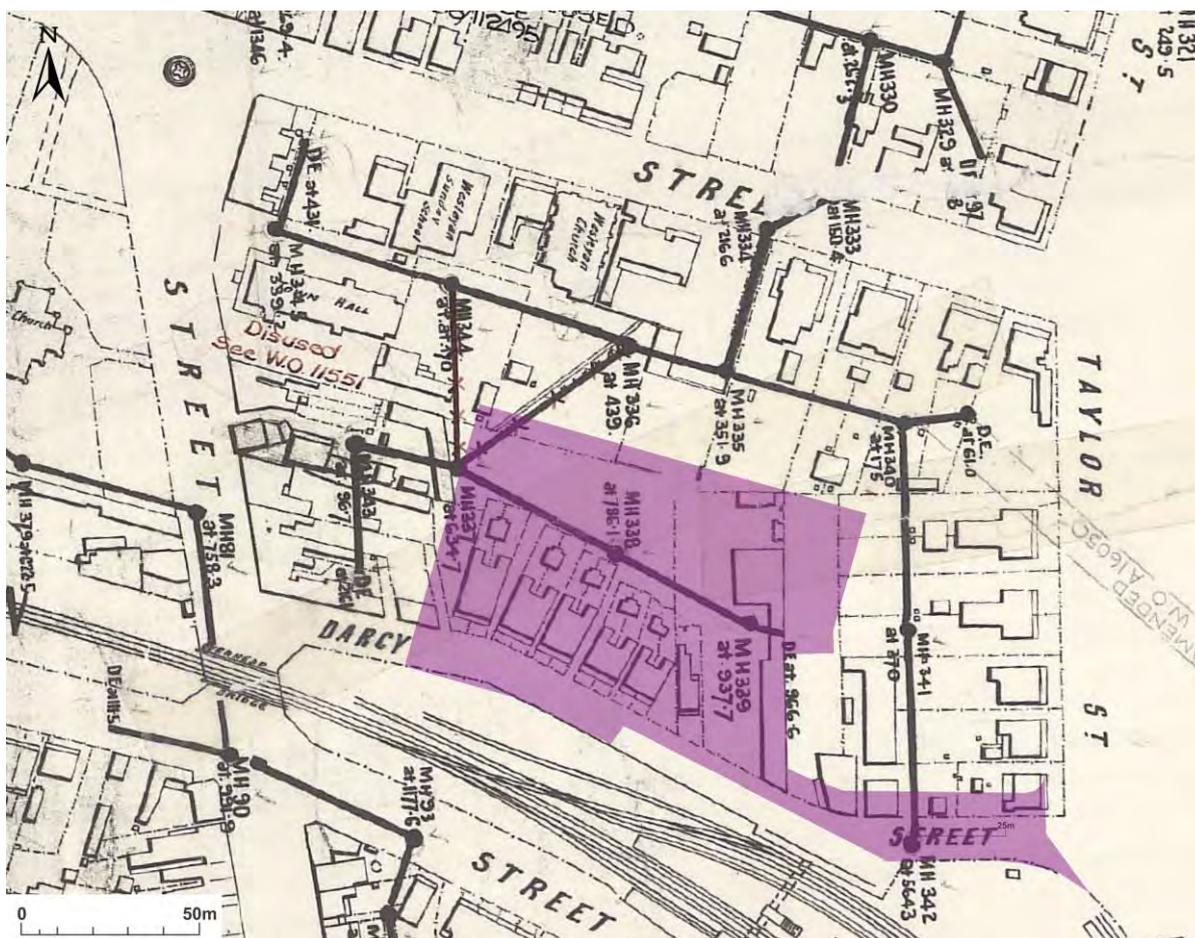


Figure 2.18: 1907 sewerage plan showing the open drain channel from the 1895 plan and a later sewerage line parallel and to the east. Sydney Water Archives.

### 2.2.7 Civic Place

For many years the central area of Civic Place or modern Parramatta Square was relatively undeveloped. During the later 19th and early 20th centuries buildings associated with the Darcy Street frontage began to extend into this area (Figure 2.17) when by 1895 it was shown as being subdivided as the rear yards of a series of properties. The 1930 and 1950s aerials show there were large market buildings in the vicinity of the library building behind 12 to 22 Darcy Street (Figure 2.20, Figure 2.21). Nos 12 to 22 Darcy Street still had their outbuildings. In 1961 there was building to the south of the Leigh Memorial Church in Civic Place adjacent to the northeastern end of the 1950s Council administration building (Figure 2.22). The library was built between 1958 and 1964. It was reputedly built on the site of Ralph's Sale Yards.<sup>61</sup>

<sup>61</sup> McClymont 2003:37.



Figure 2.19: 1930 aerial showing the three corrugated-iron buildings used as general markets and auction rooms at the rear of the Darcy Street buildings. Map3424\_1296 (Parramatta).



Figure 2.20: Overlay of the study area onto the 1943 aerial. The line of what Town Drain (arrowed) is thought to cross through the former Pound property. Lands Department.



**Figure 2.21:** Detail of 1955-56 aerial photo with study area outlined showing the presence of extensive 20th-century building across the central area of the site, prior to the library being built. Aerial of Parramatta district, NSW Run 233-5198. NSW LPI Aerial Photographs.



**Figure 2.22:** Detail of 1961 aerial photo with study area. Houses still dominate Macquarie and Smith Streets while much of the study area is in its current form. Nos 20 to 26 have been rebuilt. There are large shed-style buildings in the vicinity of the current library building behind 12 to 22 Darcy Street. The Darcy Street houses still have their outbuildings. Parramatta City Council.

## 3.0 Archaeological Context

### 3.1 Previous Reports and Listings

#### 3.1.1 Archaeological Management Strategy, Parramatta Square

The *Parramatta Square Archaeological Management Strategy* report was updated in November 2012. This report forms the basis for the recommendations for the management of this site. It supersedes the PHALMS 2000 report due to detailed research, the analysis of archaeological potential and discussion of significance and the detailed recommendations for the management of the archaeological resource.

#### 3.1.2 Parramatta Historical Archaeological Landscape Management Strategy (2000)<sup>62</sup>

PHALMS identified the whole of Parramatta Square (Civic Place) as having exceptional archaeological significance at a State level (Figure 3.1). There were three areas considered to have no potential for archaeological remains, two of them within the PS5&6 study area. These include the sites of the building on the corner of Macquarie and Smith Streets, of the modern Parramatta City Council chambers in Darcy Street and the library building in the centre of Civic Place (Figure 3.2). The archaeological research potential for the study area was mostly considered to be high (green) rather than exceptional (orange). High is considered to include sites with rare research potential with minor disturbance dating to the 1840s. Exceptional research potential is considered to relate to exceptionally rare and intact sites.<sup>63</sup> Moderate is considered to be representative of 19th-century archaeology with minor disturbance.



Figure 3.1: Plan showing significance of archaeological remains within the PS5&6 study area (outlined in pink). Orange represents State significance and blue represents local significance. Grey areas indicate no significance, due to the presence of basements.

<sup>62</sup> This text was also included in the *Excavation Permit Application, Civic Place Parramatta* (2004) lodged as part of the testing.

<sup>63</sup> PHALMS 2000: 201.

A series of Archaeological Management Units (AMU) were identified as covering the study area. It should be noted that these plans or AMUs do not specifically identify the Town Drain although it is mentioned in some discussions. In addition, the prediction of areas of high impact were different from those identified in Higginbotham (1991) (Figure 3.8).



**Figure 3.2: Plan showing the archaeological research potential within the PS5&6 study area (outlined in pink). Green represents High research potential and grey areas are considered to have no potential. Darcy Street roadway is coloured pale blue and was considered to have moderate research potential.**

The PHALMS overlay of the modern property boundaries and street alignment onto the 1823 historic plan reveals that most of the pre-1823 buildings were aligned along Macquarie Street and into the northern part of Church Street as well as the Market Place (Figure 3.3). There were no buildings in the study area which was then still part of the Wentworth Estate.

The overlay onto the 1844 plan illustrates how the building of the railway altered the street layout by forming a new street frontage which is Darcy Street (Figure 3.4). Based on the 1844 plan there is no reason to allocate the majority of the PS5&6 study area a level of State significance as there are no known buildings there prior to 1844 and none of them accord with the themes given State significance in the AMU statement of significance. The northern strip of the study area falls just within the boundaries for The Market/Town Hall and Pound properties but these areas are not considered to contain remains of State significance.



Figure 3.3: Detail from PHALMS overlay of the 1823 plan onto the modern property boundaries. There were no known buildings within the PS5&6 study area (pink). PHALMS 2000.

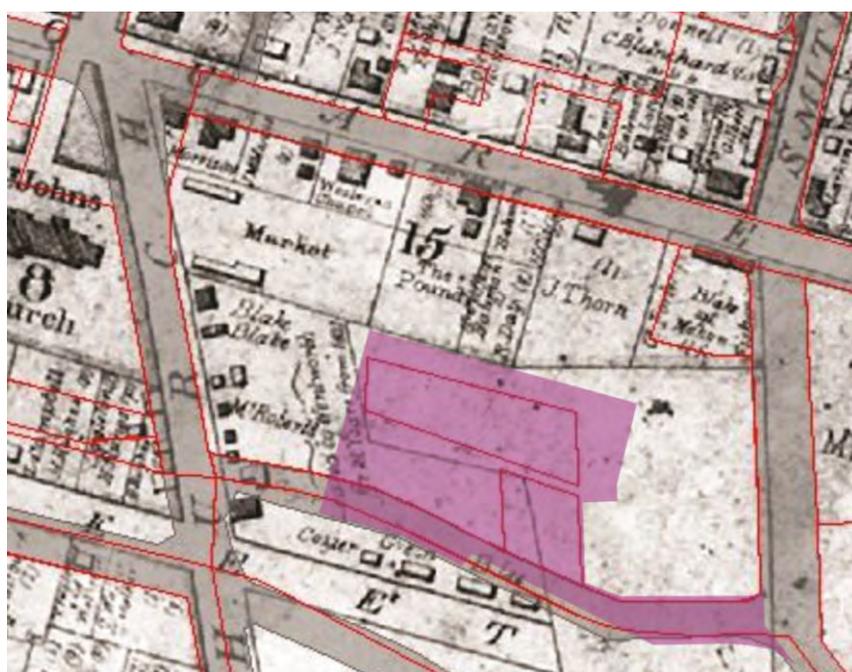


Figure 3.4: PHALMS overlay of 1844 plan onto modern properties. By this stage there are four buildings within what is now Darcy Street. PHALMS 2000.

### 3.1.2.1 Archaeological Management Units (AMU)

The PHALMS report placed the study area within four AMUs (Figure 3.5):

- 2869 – Civic Place, Town Hall Site
- 3214 – Darcy Street roadway
- 3152 – Civic Place (Library)
- 3153 – 30 Darcy Street (Parramatta City Council Offices)

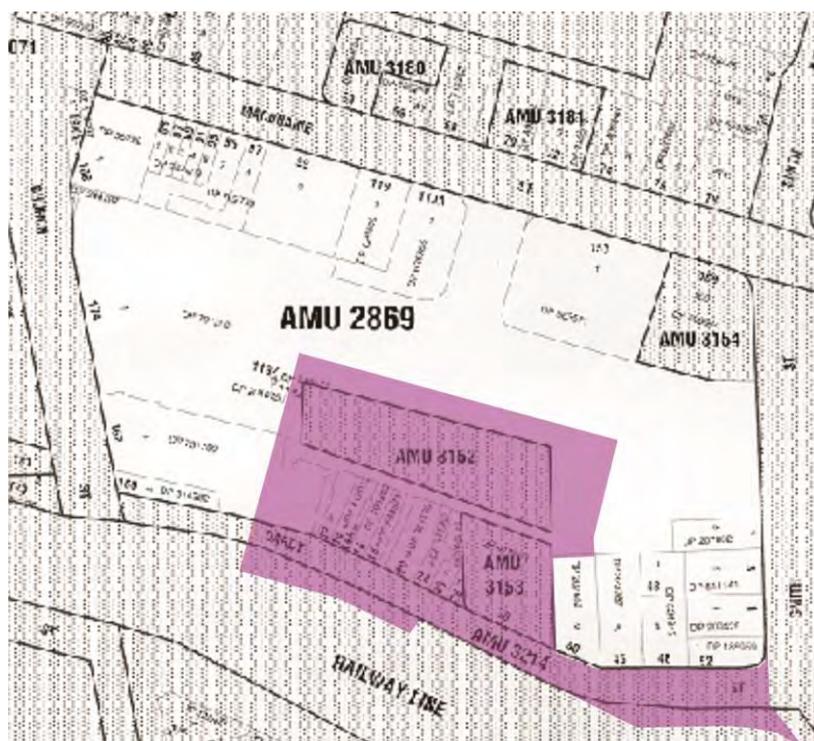


Figure 3.5: AMU Map for Civic Place. Heritage Office webpage, State Heritage Inventory.

#### AMU 2869 – Civic Place, Town Hall Site

The current study area is partially within AMU 2869. The PHLAMS inventory form for this AMU covers all of Civic Place, now Parramatta Square, except for those parts of the site considered to have no archaeological potential. It identifies AMU 2869 as having high archaeological research potential. The PHALMS statement of significance is extremely general due to the large size of this AMU and the 40 DPs listed as being in this area. This AMU also includes the Sydney Water site on the corner of Smith and Darcy Streets which was the subject of a previous investigation by Casey & Lowe<sup>64</sup> and is not part of the current study area. The historical notes in the AMU inventory are based on the 1989 assessment for Civic Place. The discussion of research significance in this AMU is general and does not assist with the identification of the potential resources other than the market place, the Aboriginal meeting place, the pound, the historic drain and soil profiles.

#### AMU 3214 - includes Darcy Street roadway

This AMU includes a number of streets and roadways throughout Parramatta. It is considered to have moderate archaeological research potential of local heritage significance.

#### AMU 3152 – Civic Place (Library)

When Casey & Lowe wrote the original 2004 and the updated 2012 AMS we adopted the PHALMS assessment of impact for the library basement as well as the one by Higginbotham (Figure 3.1, Figure 3.2, Figure 3.8). More recently PCC provided an accurate plan for basements within Parramatta Square (Figure 3.6). This shows that basement for the library is only at the eastern end of library and not the western two-thirds. Therefore, although the PHLAMS inventory says that this AMU has no current archaeological research potential and has no archaeological significance, we have modified that position in this report. The library basement is only beneath the eastern third of the building but as it is still a multi-storey building there are still thought to be considerable archaeological impacts from the footings of this structure.

<sup>64</sup> <http://www.caseyandlowe.com.au/site1smith.htm>.

### AMU 3153 – 30 Darcy Street (Parramatta City Council Offices)

This AMU has no current archaeological research potential and has no archaeological significance. The presence of a large basement in the multi-storey Council building has removed any archaeological remains in this area.

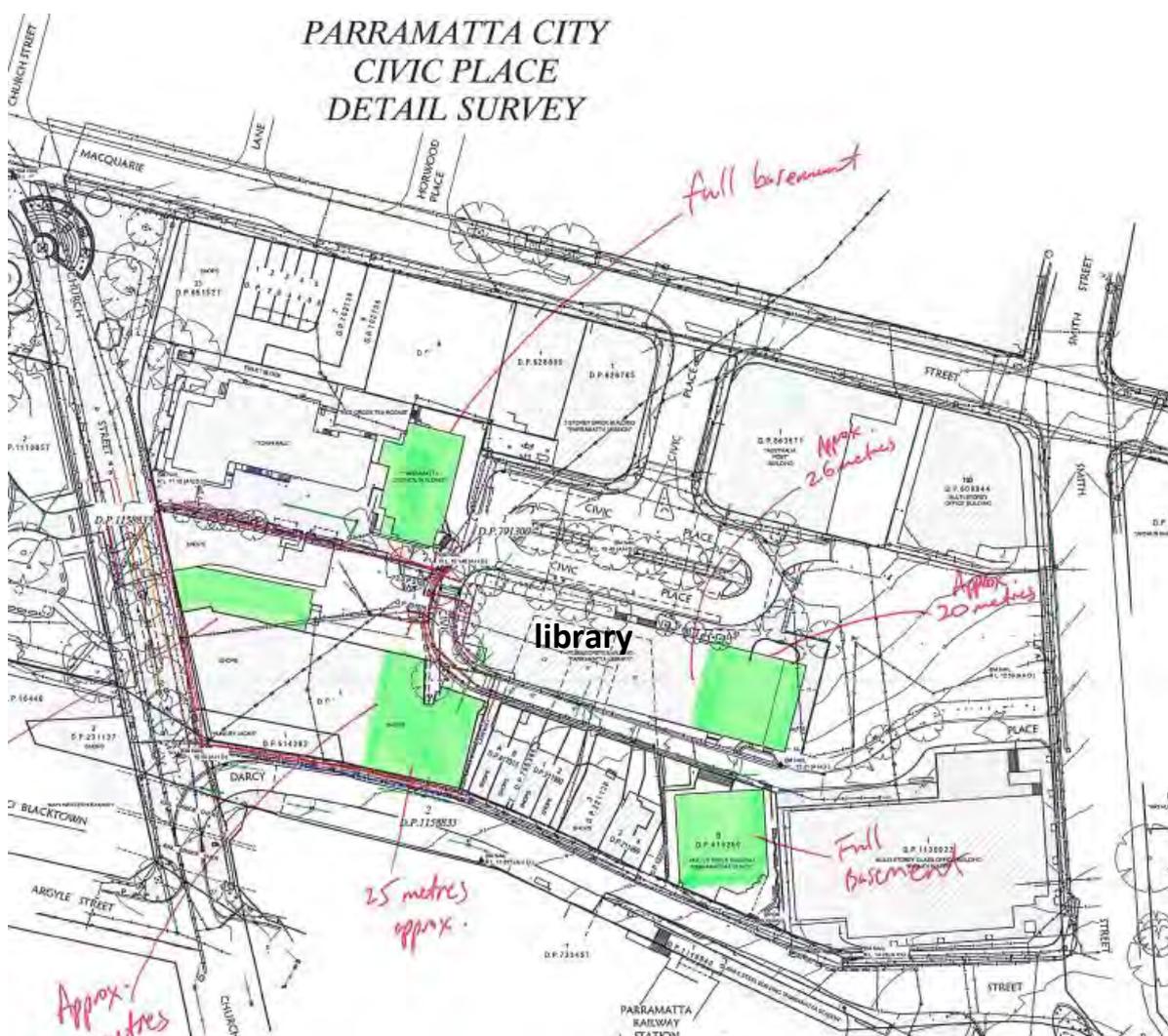


Figure 3.6: Plan provided by PCC showing the location of basements within Parramatta Square which illustrates that the library basement is only located at the eastern end of the library. This means that the western two-thirds has archaeological potential.

#### 3.1.3 Parramatta City Centre Local Environmental Plan 2007

The Parramatta City Centre LEP lists one scheduled archaeological site and the 'convict drain' (Schedule 5) within the general Parramatta Square study area, but outside the specific development area of PS5&6. The LEP also identified the heritage significance of the items (Figure 3.7):<sup>65</sup>

- Item 6: 182 Church Street, Parramatta Town Hall and potential archaeological site, State.
- Item 132: Convict Drain, Local.

<sup>65</sup> <http://www.legislation.nsw.gov.au/maintop/view/inforce/epi+650+2007+cd+0+N>.

Based on advice from the Heritage Division, Office of Environment and Heritage, it has been confirmed that this drain is not a relic under S139 of the *Heritage Act, 1977* and is rather a buried work. It is noted that the construction and backfill of the drain has potential to contain relics. Recent work by Casey & Lowe on the alignment of this drain across Parramatta Square differs from the LEP map. The location and preservation of the Town Drain is more thoroughly discussed in Section 3 below.



Figure 3.7: Detail from LEP plan showing the heritage items within the study area.

#### 3.1.4 The Future of Parramatta's Past (1991)

This early Archaeological Zoning Plan (AZP) identified that the study area has a series of potential impacts on the archaeology likely to survive within the study area (Figure 3.8). There is some divergence between this map of potential and the one reproduced in PHALMS (Figure 3.2). Additional impacts were identified at the rear of the Town Hall where the 1950s Council Chambers stands, within the arcade going from the Church to Civic Place, near the corner of Darcy Street, on another property on Darcy Street and a property on Smith Street. None of the specific items with inventory numbers from this report fall within the PS5&6 study area.



### Portion 196

This was land part of two leases to D'Arcy Wentworth and John Piper who both had 14 year leases on this portion. They were later amalgamated into a larger grant of 31 acres issued on 31 August 1819. D'Arcy Wentworth built 'Woodhouse', a large house to the south of the study area on Church Street. By 1844 there are houses on the Church Street frontage (Figure 3.4) as well as those on the former Argyle Street frontage. The land to the north of Darcy Street (Figure 2.13) was subdivided in June 1873. At this time there were no buildings within the PS5&6 study area.

In 2000 a draft of the *Parramatta Historical Archaeology Landscape Management Study* (PHALMS) was produced. Among the aims of that document was to provide a holistic regional research framework and a set of management recommendations to manage the archaeology of Parramatta.

As part of that study, inventory sheets were produced for Archaeological Management Units (AMU) which included a number of individual properties. The study area includes three AMUs (2868, 3152, 3153) although only AMU 2868 is considered to have archaeological research potential and significance (Figure 3.1, Figure 3.2). A copy of this inventory sheet is in Appendix 1. PHALMS supersedes the previous report by Edward Higginbotham but this earlier report can be quite helpful in providing specific analysis of a potential archaeological site.<sup>66</sup>

#### 3.1.6 Parramatta Transport Interchange

This report by Godden Mackay Logan (2004) covered the alignment of Darcy Street as part of their analysis and assessment of significance. They identified the likely presence of the Argyle Street remains within Darcy Street but have not seen the figures reproduced in this report showing the potential archaeology for:

This section of the Darcy Street roadway may contain archaeological evidence associated with the development and occupation of former allotments in this area from c1831-1859. The 1844 plan of the Parramatta township shows the northwestern portion of the Wentworth Estate as under leasehold to Wentworth for 21 years from 1831. This area was resumed for the construction of the railway and the formation of the surrounding streets (including Darcy Street) in 1859. This evidence may include structural remains of a timber brick building fronting Church Street, as well as the rear of allotments fronting the former alignment of Argyle Street.<sup>67</sup>

As indicated by Figure 4.2 and Figure 4.3 in this report, the potential archaeology in Darcy Street is limited to the corner with Church Street and some potential yard deposits and features. Most of the building frontages are beneath Parramatta Railway.

Godden Mackay Logan assessed these remains as having a potential State level of heritage significance. This statement of significance acknowledged that this identification was based on no detailed historical research or assessment of the Darcy Street roadway but rather its relative rarity. In addition, there was no discussion of research potential:

#### **Criterion A [Historic significance]<sup>68</sup>**

The Darcy Street roadway was part of the former Wentworth Estate. Part of the Darcy Street roadway was developed in the 1830s on land leased by Wentworth. Buildings in this area were demolished in 1859 as part of the development of the Parramatta Railway Station and the surrounding streets (including Darcy Street). This area is also associated with the evolving pattern of Parramatta's commercial and retail townscape, with the northern side of Darcy

<sup>66</sup> Higginbotham 1991.

<sup>67</sup> Godden Mackay Logan 2004:85.

<sup>68</sup> Godden Mackay Logan 2004:105-109.

Street developed as a residential and commercial area throughout the late 19th and early 20th centuries.

**Criterion B [Associative significance]**

This site was associated with the Wentworth family, as land leased by the Wentworth Estate for 21 years from 1831. Physical remains of former structures on this part of the Wentworth Estate are likely to survive with the Darcy Street roadway.

**Criterion C [Aesthetic significance]**

It is impossible to determine whether the potential archaeological remains at this site may meet this criterion.

**Criterion D [Social significance]**

While a study of the contemporary social values of this site has not been undertaken as part of this study, it would be considered unlikely that this site would have a strong association with a particular community or group.

**Criterion E [Technical / Research significance]**

This site may contain archaeological evidence associated with the development and occupation of former allotments in this area from c1831-1859. This evidence may include structural remains, deeper subsurface features, occupation deposits and other deposits and features. Evidence associated with this period of occupation may be high archaeological research potential.

**Criterion F [Rarity]**

Archaeological sites in the Parramatta CBD dating to the early-to-mid 19th century are increasingly rare (as part of an ever-diminishing resource). The potential archaeological resources at this site could therefore be considered as a rare surviving element of Parramatta's history.

**Criterion G [Representativeness]**

The archaeological remains of the former c1831-1859 buildings and allotments may be representative of similar sites in Parramatta (or beyond) during this period. However, as the precise nature or function of the allotments within this area has not been determined at this stage, it is difficult to determine which aspects of Parramatta's history they may represent.

**Summary Statement of Archaeological Significance**

This part of the Darcy Street roadway may contain archaeological evidence of early-to-mid occupation and development in this part of Parramatta. These remains may have high research potential, to contribute information about a poorly documented site that dates to an early period in Parramatta's history. The potential archaeological remains at this site would be of State significance.

It is noted that there is limited archaeology potential in Darcy Street (Figure 4.2, Figure 4.3) associated with the above statement of significance.

### 3.2 Town Drain

A historic stormwater drain, commonly referred to as the 'Parramatta Town Drain' but also known as the 'Convict drain', extends from Parramatta Square (formerly Civic Place) to the Parramatta River. It is a heritage item listed in the Parramatta City Centre LEP 2007 (I 132). Comparisons between the route of the drain on the 2007 LEP map and known locations where it has been recorded show that the LEP map has some inaccuracies. This section on the Town Drain has been updated since the AMS 2012 as Casey & Lowe have done further work on the drain in Barrack Lane and for Endeavour Energy.

The heritage significance of the town drain was first recognised in 1980 when the NSW Heritage Council was notified when a section of the drain was exposed during construction works on a site north of Phillip Street. This section was an elliptical brick drain, constructed from two layers of sandstock bricks. The alignment and appearance of the drain suggested at the time that it may have dated to the 1820s.<sup>69</sup> After the significance of the drain was recognised it was subjected to three archaeological studies during 1981 and 1982. These were:

- a. **130 George Street (formerly known as the Ferguson Centre)** – elliptical brick barrel drain<sup>70</sup>
- b. **83 George Street** – elliptical brick barrel drain<sup>71</sup>
- c. **Civic Place, west side** – sandstone box drain<sup>72</sup>

Since 1982 the drain has been exposed many times during various archaeological investigations around Parramatta. The following are known:

- d. **85 George Street (Perth House)** – elliptical brick barrel drain<sup>73</sup>
- e. **20 Smith Street ('The Babes in the Wood' site)** – sandstone box drain<sup>74</sup>
- f. **79 George Street** – sandstone box drain<sup>75</sup>
- g. **16-18 Smith Street** – sandstone box drain<sup>76</sup>
- h. **25 Smith Street** – sandstone box drain<sup>77</sup>
- i. **Smith Street roadway** – brick barrel drain and sandstone box drain<sup>78</sup>
- j. **Macquarie Street roadway** – sandstone box drain (much repaired)<sup>79</sup>
- k. **Civic Place roadway** – sandstone box drain<sup>80</sup>
- l. **George Street roadway** – brick barrel drain<sup>81</sup>

Also the observations made of the drain in 1980 associated with the Heritage Council should be noted:

- m. **80 Phillip Street** – brick barrel drain<sup>82</sup>

The approximate locations of these observations are shown in Figure 3.10.

Based on these previous archaeological investigations, the drain appears to have been built in at least two phases. The first phase was the brick barrel drain. This drain is usually thought to date to the 1820s. The second phase was the sandstone box drain. This drain probably dates to c.1841; the NSW 'Returns of the Colony' ('Blue Books') for 1842 state that construction of stone drains in Parramatta had begun in 1841 but were still not completed.<sup>83</sup>

The brick barrel drain has been mostly clearly recorded at 130 George Street (the Ferguson Centre). There the drain consisted of two courses of bricks, with an internal diameter between 1.2m and

<sup>69</sup> Higginbotham 1981:4; Higginbotham 1983:35.

<sup>70</sup> Higginbotham 1981; Higginbotham 1983.

<sup>71</sup> Wickman & Newell 1981.

<sup>72</sup> Wilson & Wickman 1982.

<sup>73</sup> Bairstow 1989.

<sup>74</sup> Higginbotham 1990a.

<sup>75</sup> Higginbotham 1990b.

<sup>76</sup> Excavations by GML in 1999. See Lindbergh 1999 (*ASHA Newsletter 29(3)*) and site interpretation.

<sup>77</sup> Archaeological testing and excavation by Edward Higginbotham in 2003: Higginbotham 2003:6-7; Higginbotham 2004:234-235; Heritage Branch 2010; Edward Higginbotham & Associates 2010 and site interpretation.

<sup>78</sup> Heritage Concepts 2006; Casey & Lowe 2009.

<sup>79</sup> AHMS 2009:27, 31; Observations of active drains prior to monitoring by Casey & Lowe in 2012 & 2013, report in prep.

<sup>80</sup> Observations of active drains prior to monitoring by Casey & Lowe in 2012 & 2013, report in prep; mechanised inspection by ITS Trenchless, November 2012.

<sup>81</sup> Casey & Lowe monitoring in 2012 & 2013, report in prep.

<sup>82</sup> Higginbotham 1981:4, 12; Higginbotham 1983:35.

<sup>83</sup> Returns of the Colony, 1842, SRNSW 4/274 p 106.

1.3m.<sup>84</sup> Part of this drain was relocated within the development and is still on display (Figure 3.13). South of 130 George Street, the brick barrel drain continues under George Street. It was exposed in 2012 as part of preliminary exploratory works designed to avoid it during trenching for electricity transmission cables. Where it was exposed it had a width of 1.4m (Figure 3.14). A brick sampled from the fill surrounding the drain during these works was dated by Casey & Lowe to 1800 to 1830.<sup>85</sup> The brick barrel drain had similar dimensions when recorded in 1981.<sup>86</sup>

The sandstone box drain has been clearly recorded at the rear of 79 George Street. On that site, it was constructed from several courses of sandstone blocks. These were roughly finished and no evidence of mortar was observed. The top of the drain was capped with large sandstone slabs. The internal dimensions of the drain varied but at the west end of the site they were 700 x 700mm. Based on scale plans, the external width of the drain measured 1.7m to 2.2m. At 79 George Street, the drain did not have any base slab. Based on artefactual evidence, the sandstone drain was dated to the 1840s.<sup>87</sup> Archaeological investigations at Civic Place show that sandstone drain had a sloping stone base in this area (Figure 3.15).<sup>88</sup>

Both the sandstone box drain and the brick barrel drain show evidence of being repaired during the 20th century. There were common features to many of these repairs. In many sections of the drain, the top coverings had been replaced by concrete slabs. This has been observed for both the box and barrel drains (Figure 3.21, Figure 3.16).<sup>89</sup> In Civic Place, to the west of the study area, Wilson and Wickman observed that the walls had been repaired or completely replaced by machine-made bricks in some sections of the box drain.<sup>90</sup> Similar repairs had been made to the brick barrel drain, where sections had been repaired before they were covered by concrete slabs.<sup>91</sup> Part of the box drain had been replaced, including a section of the drain east of an access hole at 79 George Street, leading towards Barrack Lane.<sup>92</sup>

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<sup>84</sup> Higginbotham 1983:36.

<sup>85</sup> Casey & Lowe in prep.

<sup>86</sup> Wickman & Newell 1981: trench 1 section.

<sup>87</sup> Higginbotham 1990b:12-13.

<sup>88</sup> Wilson & Wickman 1982:8, photograph 9.

<sup>89</sup> Prospect County Council 1971; Higginbotham 1981:6; Wickman & Newell 1981:6-7, 11; Wilson & Wickman 1982:8; Higginbotham 1990a:51, figure 3.5.

<sup>90</sup> Wilson & Wickman 1982:8-9.

<sup>91</sup> Higginbotham 1981:7; Wickman & Newell 1981:6-7.

<sup>92</sup> Higginbotham 1990b:26-27.

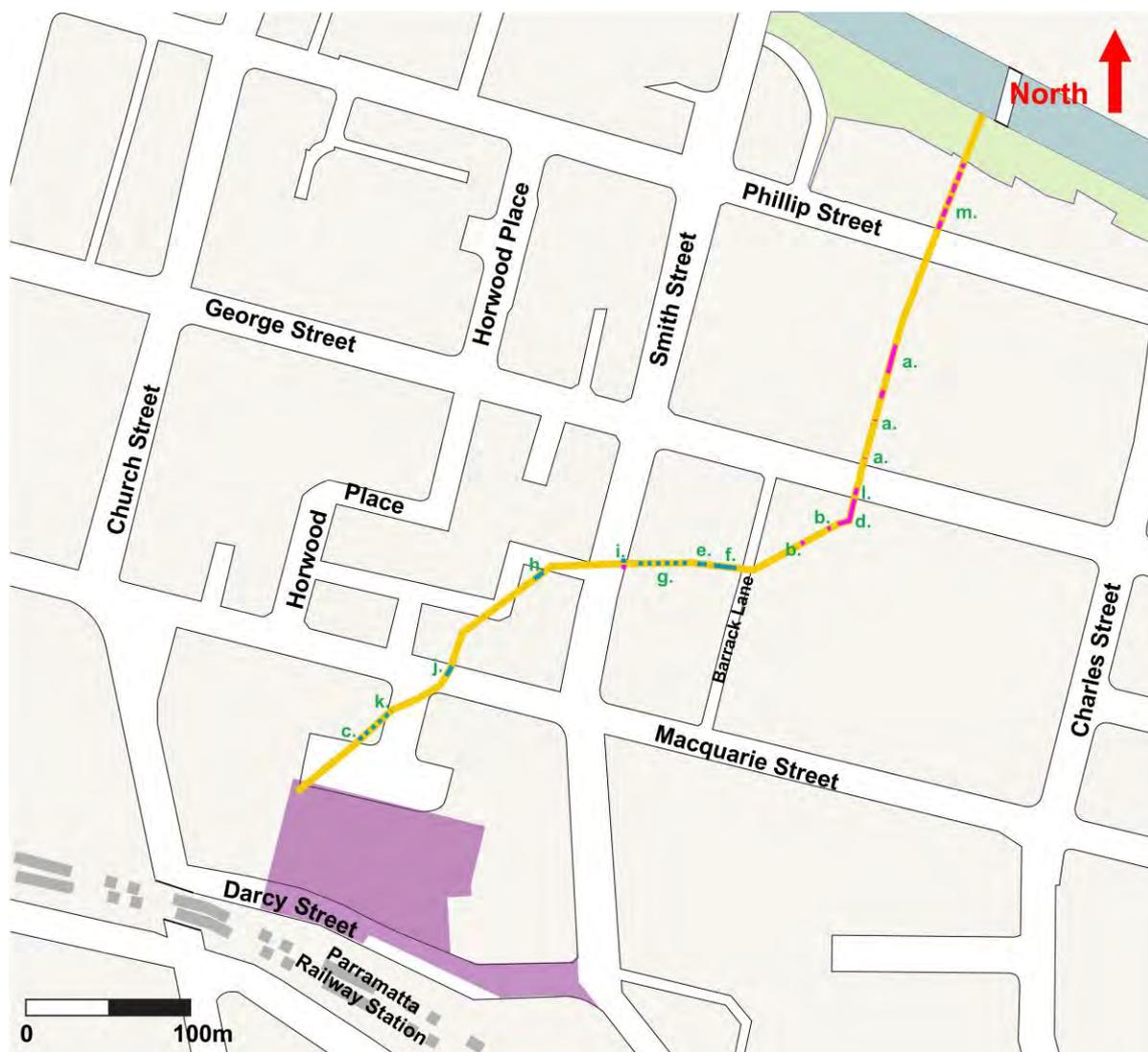


Figure 3.10: Detail of predictive map of drainage system showing Parramatta Town Drain, PS5&6 study area shaded pink, with areas observed by previous archaeological investigations highlighted (blue = sandstone box drain, magenta = brick barrel drain). Letters match references in the text. This plan replaces the previous version in the AMS 2012. Nick Pitt, updated May 2015.

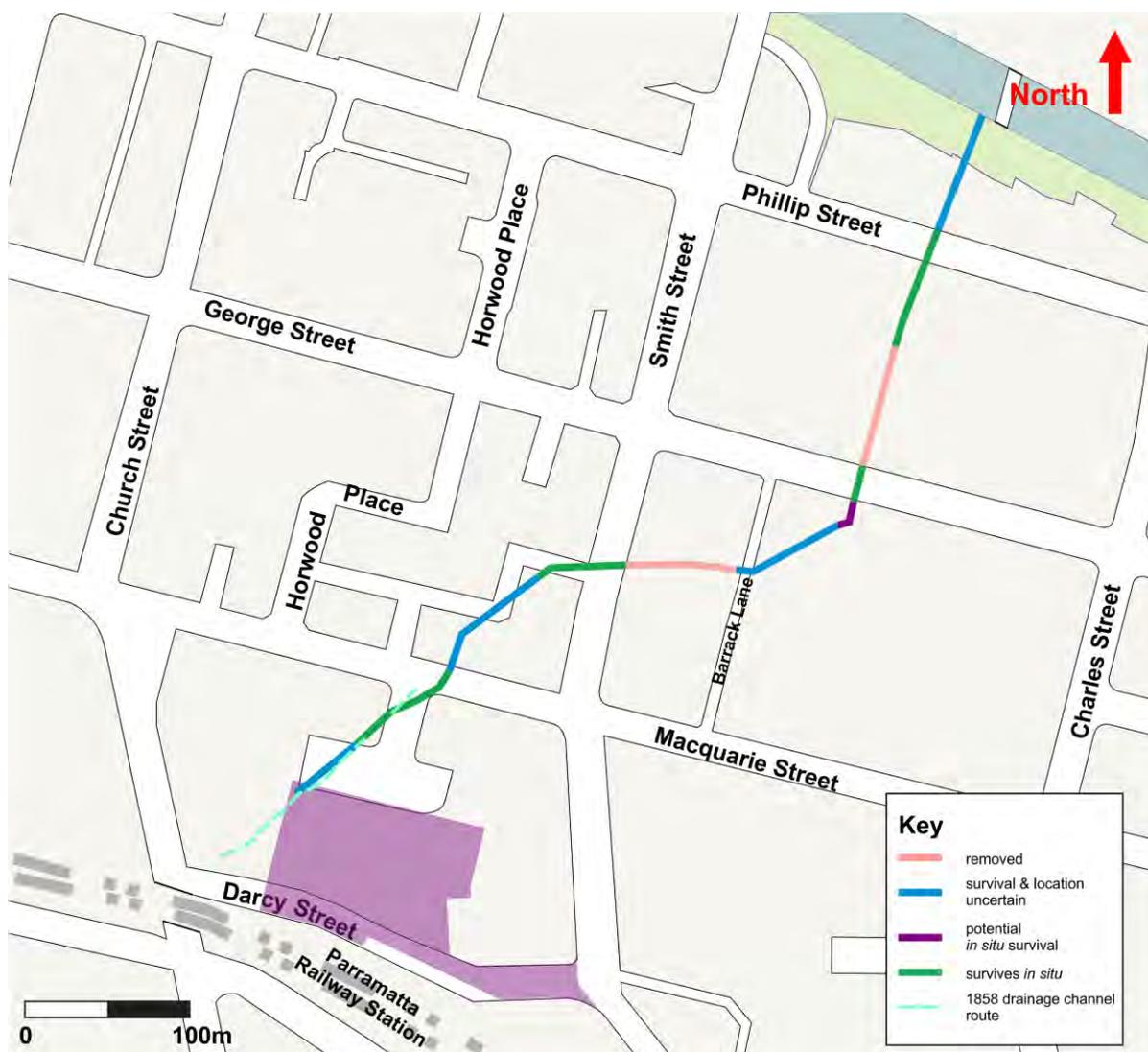


Figure 3.11: Plan of Town Drain showing the predicted survival of the drain fabric, on available information. PS5&6 study area shaded pink. The location of the drainage channel is based on the 1858 plan and the extent of the drain within PS5&6 is based on the 1895 plan which was surveyed with this section of drain was visible. This plan replaces the previous version in the AMS 2012. Nick Pitt, updated May 2015.



Figure 3.12: Aerial/top down view of the brick barrel drain (left) and a sandstone box drain (right) uncovered during monitoring by Heritage Concepts in 2005. It is thought that the stone drain is a smaller street drain. Photo taken from the NDC Building, 18 Smith Street Parramatta, west at top of photo, Heritage Concepts 2006:22, photograph 4.20.



Figure 3.13: Detail of brick barrel drain relocated at 130 George Street. Photo taken by N Pitt, 11/02/2015, looking south.



Figure 3.14: Exterior of brick barrel drain in the roadway between 85 and 130 George Street. The drain is approximately 1.4m in diameter at this point. Photo taken by M Casey, 12/12/2012, looking north.



Figure 3.15: Detail showing junction between wall and base of sandstone box drain. Note the sloping base. Wilson & Wickman 1982, photograph 9.

### 3.2.1 Town Drain in Parramatta Square

The route of the Parramatta Town Drain ('Convict Drain') through Parramatta Square can be traced in some detail through *in situ* observations and historic maps. Under part of Civic Place and Macquarie Street, the Town Drain is still active as a stormwater drain. There is a stormwater inlet on the west side of Civic Place (Figure 3.10, location k; Figure 3.21, Figure 3.22). From this inlet, the sandstone box drain is visible in both directions.

Downstream from the stormwater inlet on Civic Place, the drain continues northeast across the study area, underneath Civic Place, before it continues under Macquarie Street, where it was observed during archaeological monitoring in Macquarie Street by AHMS in 2007 (Figure 3.16). This monitoring also provided evidence that the Town Drain was located in an earlier water channel, at least in that area (Figure 3.17).<sup>93</sup> Support for this view also comes from historic maps of the area, which show an open drain running across this area (Figure 3.24, Figure 3.25).

Upstream from the stormwater inlet on Civic Place, the drain continues underneath the present Parramatta Mission building. In November 2012 ITS Trenchless investigated the upstream from this inlet using a mechanised camera placed inside the drain.<sup>94</sup>

The inspection followed the length of the drain to the southwest for 25.6m, at which point a collapse made it impossible to go any further (Figure 3.19). This inspection showed that the sandstone box drain to be constructed of three courses of worked rectangular sandstone blocks. Some of these blocks were slightly irregular in surfacing and finish. The roof was capped in what appear to be concrete slabs. At 13.4m a single sheet of corrugated iron with newspaper adverts pasted to it formed the roof, and then concrete slabs are used from approximately 14m. At approximately 19.5m into the inspection a change in construction method was visible (Figure 3.18). The walls started to be constructed of eight courses of smaller blocks. These are likely to be bricks, although it is hard to know this for sure from the video footage. The transition from brick to sandstone walls was observed at a similar point along the Town Drain by Wilson & Wickman in 1982.<sup>95</sup>

Also at 19.5m it could be observed that the base was flat worked sandstone. During the rest of the inspection the debris and silt on the base of the drain made the floor difficult to see. The roofing at this point also appeared to revert to corrugated iron approximately 2m before the concrete slabs reappeared. The slabs are in poor condition from this point onwards, bowing in the centre and cracked (Figure 3.19), before a complete collapse of the drain at 25.6m made it impossible for the inspection to continue. This collapsed section also was recorded by Wilson & Wickman in 1982, who attributed it to the installation of the sewer main, which crosses the line of the drain near this point.<sup>96</sup> Three terracotta drains are seen entering the town drain throughout the inspection.

Additional footage was obtained using an access point further to the southwest. This shows the drain to be large concrete pipe in this location (Figure 3.20). At 12.5m the inspection had to stop due to a build-up of material within the drain. A number of metres beyond this point the start of the sandstone box drain can be observed. This suggests that a section of the sandstone box drain exists beyond the collapsed point shown in the first video, runs for some distance, and is then replaced by the modern concrete oviform drain.

<sup>93</sup> AHMS 2009:31.

<sup>94</sup> This summary of the video inspection has been adapted from Casey & Lowe 2013a:53-54.

<sup>95</sup> Wilson & Wickman 1982:8.

<sup>96</sup> Wilson & Wickman 1982:8, photograph 7.

The survival of the Town Drain under the present Parramatta Mission building is intentional. In 1982, archaeological testing was undertaken on the south side of the Parramatta Mission building in order to locate the drain, and minimise impacts from the (then) new building.<sup>97</sup> The results of this investigation are consistent with the 2012 video investigation. The 1982 archaeological testing exposed a section of the box drain underneath what is now the Parramatta Mission building. The exposed section had been rebuilt using machine-made bricks and Portland cement (Figure 3.23). The sides of the drain at this point sloped outwards at 12 degrees from the vertical. It measured 1.08m at the top, 880mm at the base, and was 660mm deep. The drain was capped with concrete slabs at this point, which were 375mm below the surface. The interior of the drain was also investigated. At 2.90m northeast of the area investigation, the drain changed from being built of brick to having sandstone walls. At 6.50m southwest, the drain was blocked by rubble, which Wilson and Wickman considered had resulted from the construction of the nearby sewer main.<sup>98</sup>

After analysis of the available evidence it is possible that the section of drain in the study area probably survives *in situ*, with the potential of some modification or repair, particularly of its roof (Figure 3.11). Where the Town Drain has been recorded, its top has been fairly close to the present street level. The top of the concrete capping recorded by Wilson and Wickman in 1982, immediately to the west of the study area, was 375mm below the surface.<sup>99</sup>

Specifically in sections of Parramatta Square parts of the Town Drain are likely to still be an active stormwater drain while other sections were bypassed. There is a stormwater inlet on the west side of Leigh Place (Figure 3.21, Figure 3.22). The drain continues northeast across the square, underneath Leigh Place, before it continues under Macquarie Street, where it was observed during archaeological monitoring in Macquarie Street by AHMS in 2007 (Figure 3.16). This monitoring also provided evidence that the Town Drain was located in an earlier water channel, at least in that area (Figure 3.17).<sup>100</sup> Support for this view also comes from historic maps of the area, which show an open drain running across this area (Figure 3.24, Figure 3.25). A very small segment of the overall Town Drain may be within PS5&6 (Figure 3.24, Figure 3.25). The majority of the surviving sections of the Town Drain are likely to be within PS3 and PS4.



**Figure 3.16: Sandstone box drain with concrete slab top, exposed during works for Sydney Water monitored by AHMS. Photograph taken 2/11/2007, supplied by M. Kelly, scale 500mm.**

<sup>97</sup> Wilson & Wickman 1982:2.

<sup>98</sup> Wilson & Wickman 1982:8, Figure 2.

<sup>99</sup> Wilson & Wickman 1982: Figure 2.

<sup>100</sup> AHMS 2009:31.



Figure 3.17: Soil profile immediately west of Town Drain in Macquarie Street, exposed during works for Sydney Water monitored by AHMS. The dipping stratigraphy and clayey silt deposits are suggestive of a natural water channel which the Town Drain took advantage of. Photograph taken 2/11/2007, supplied by M. Kelly, scale 500mm; cf AHMS 2009:31.

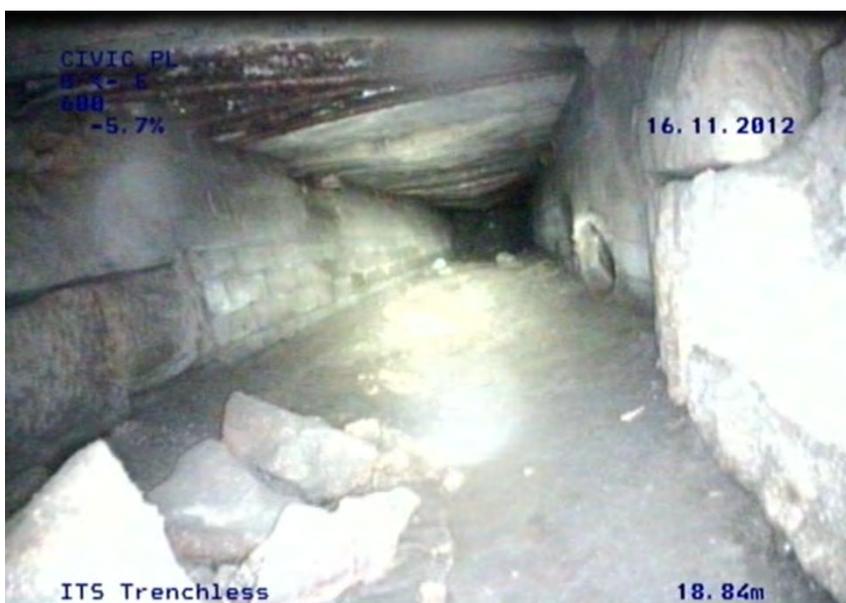


Figure 3.18: Still from the inspection video showing the change in construction technique of the drain on the left hand side, 19.5m. The large blocks are replaced by approximately 8 courses of smaller worked sandstone blocks. ITS Trenchless, November 2012.



Figure 3.19: Still from ITS Trenchless footage showing the collapse of the sandstone drain and poor condition of the concrete slab roof, 25.6m. ITS Trenchless, November 2012.



Figure 3.20: Still from ITS Trenchless footage showing the start of the sandstone box drain beyond the rubbish blockage. ITS Trenchless, November 2012.



Figure 3.21: Sandstone box drain in Leigh Place. Stone walls, concrete slab roof, floor is not visible. Photo taken 12/12/2012, from access hole circled in Figure 3.22, looking northeast.



Figure 3.22: Detail map showing access hole from where Figure 3.21 was taken (circled). Civic Place has been renamed Leigh Place.



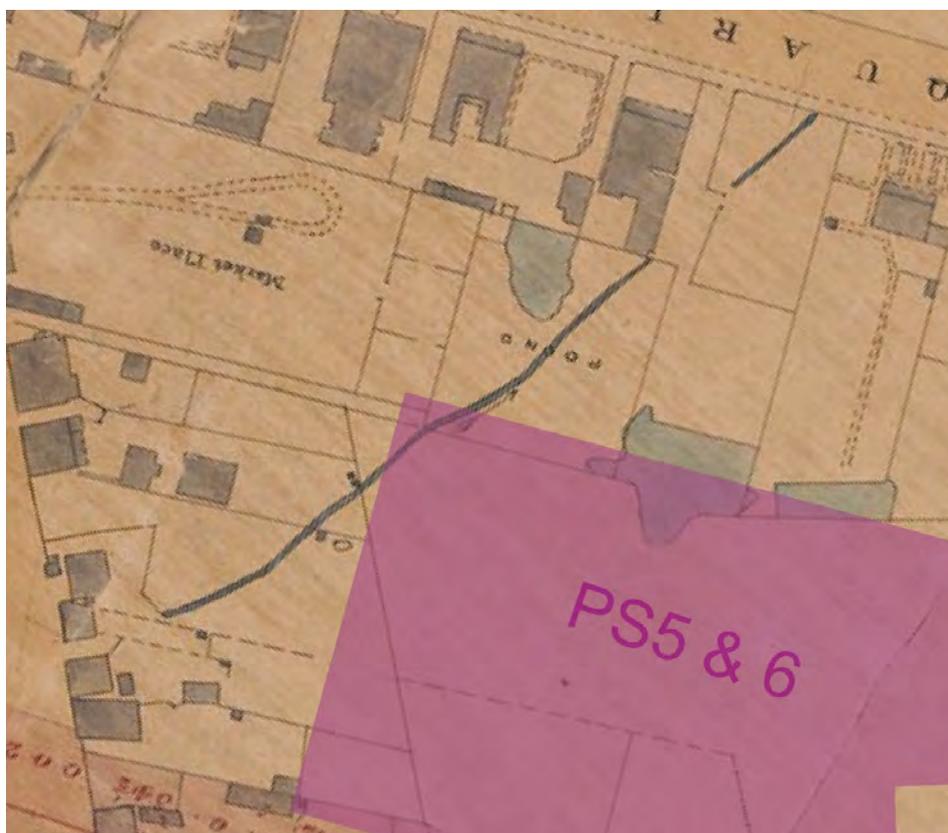
Figure 3.23: Rebuilt section of Parramatta Town Drain recorded by Wilson and Wickman in 1982. Photo shows east side of drain (ie looking west). Wilson & Wickman 1982: Photograph 4.

### 3.2.2 Location of the Town Drain within PS5&6

The predictive map illustrating the location of the Town Drain (Figure 3.11) indicated that there is likely to be approximately 6m of drain within PS5&6. The location shown on this map is our most likely prediction for the location of the drain and the creekline within Parramatta Square. Also the LEP map has been found to be inaccurate in terms of the known archaeological remains adjacent to Barrack Lane (Figure 3.7) and predictions for this locality.<sup>101</sup> The most accurate location for the drain is taken from the 1895 plan when the drain was surveyed (Figure 2.17, Figure 2.18, Figure 4.3). By 1907 the drain appears to have been superseded by a more modern stormwater/sewerage system running parallel and to the east of the drain illustrated in the 1895 plan (Figure 2.18). This sewer line or a later one was probably encountered in the drain video recorded in 2012. Therefore it is considered that the drain mapped on the 1895 plan is the most likely surviving section of drain. This would put approximately 6m of the town drain within PS5&6.

<sup>101</sup> Casey & Lowe 2015 *Archaeological Assessment, Heritage Impact Statement & S139(4) Exception Application, Barrack Land, Parramatta*.

This raises the question as to whether the drain ever extended to the southwest along the creek line illustrated in 1858 (Figure 3.24). This is unclear. While the 1858 plan post-dates the likely 1840s construction of the sandstone box drain, it is not labelled and it is not shown on the 1895 plan. This may mean the creek or drain was backfilled between 1858 and 1895. Based on current evidence and analysis it can neither be confirmed nor denied if the line to the southwest of PS5&6 (in PS2) was a creek or a creek channelized as a sandstone box drain.



**Figure 3.24: Detail of 1858 plan 'Great Western Railway, Extension Parramatta to Penrith Part 1', showing the creek or drain. Study area shaded pink. SRNSW NRS 15244.**



**Figure 3.25: Detail of 1895 Parramatta sheet 18 showing the alignment of the linear feature labelled 'drain'. Study area shaded pink. SLNSW Z/M Ser 4 811.1301/1, digital order no. a1364020.**

### 3.3 Archaeological Testing within Parramatta Square, 2004

Test Trenching was undertaken by Casey & Lowe and Jo McDonald CHM in 2004 as part of the Parramatta Square redevelopment project. Test Trench 3 was located within the northeastern part of PS5&6 (Figure 3.26). The results are outlined below.

#### Trench 3

Trench 3 was located at the west boundary of the main car park next to the walkway alongside the east wall of the library building (Figure 3.26, Figure 3.27). It was oriented east-west with a length of about 4m and a width of about 1m. The depth was 300 to 400 mm on to natural light brown clay in the eastern 2.5m of the trench mixed with humic silts. The remaining 1.5m, at the western end the trench, was excavated to a depth of about 900mm revealing that the clay had been cut away in this area for the construction of the walkway and the library building and replaced with pinkish clay and sand fill after construction. A posthole had been cut into the natural. The bitumen surface and the gravel base in this area were about 50mm thick each, covering about 200mm of brown sandy clay (topsoil) mixed with light brown natural clay. This layer was the top of exposed and disturbed natural prior to the construction of the carpark.

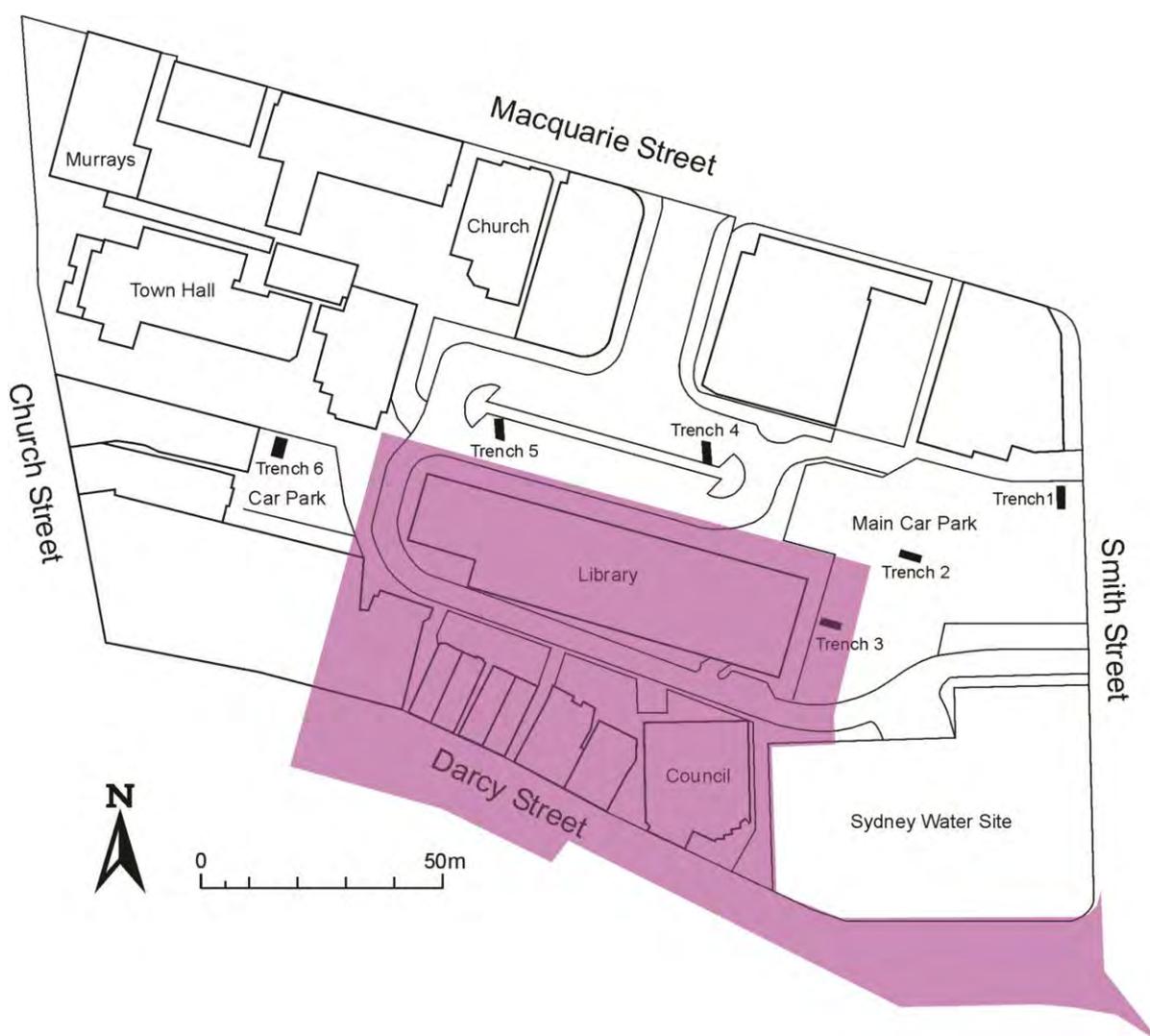


Figure 3.26: Location plan for test trenches excavated in 2004. Trench 3 is located on the eastern edge of the PS5&6 study area (shaded).



**Figure 3.27: Looking west at Trench 3. Note the mix of the topsoil and A2 horizon. At the western end the natural soil has been cut by a modern trench associated with the walkway along the eastern end of the library. Scale 1m.**

## 4.0 Archaeological Potential

### 4.1 Archaeological Potential

Archaeological Potential is the degree to which archaeological remains are considered likely to survive within the study area in light of modern impacts. The following (Section 4.3) is based on the analysis of the detailed history and maps presented in Section 2, and the archaeological context and testing results presented in Section 3. A series of assumptions underlie the analysis of archaeological potential for 19th-century remains:

Typical archaeological remains found in Sydney and Parramatta take a number of forms:

- Structural remains associated with buildings shown on plan are likely to survive but will be impacted by later phases of building:
  - building footings
  - underfloor deposits associated with the occupation of the house
  - other types of deposits.
- Certain types of remains are typically not shown on plan although some may be on later plans:
  - wells and cesspits
  - site drainage
  - rubbish pits
  - evidence for gardens, layout and use of the yard areas
  - pet burials
  - fencelines, assisting with clarification of lot boundaries and internal use of lots
  - pollen and soil evidence
  - land clearing and modification of the landform, including major filling events, i.e., backfilling of ponds or the creek line
  - rubbish dumps
  - other types of archaeological deposits.
- Later building phases will impact on the remains of early phases.
- The greater the number of phases the more complicated the nature of the archaeological remains.

Other issues are the nature and extent of impacts from later 20th-century activities such as demolition, clearing and construction:

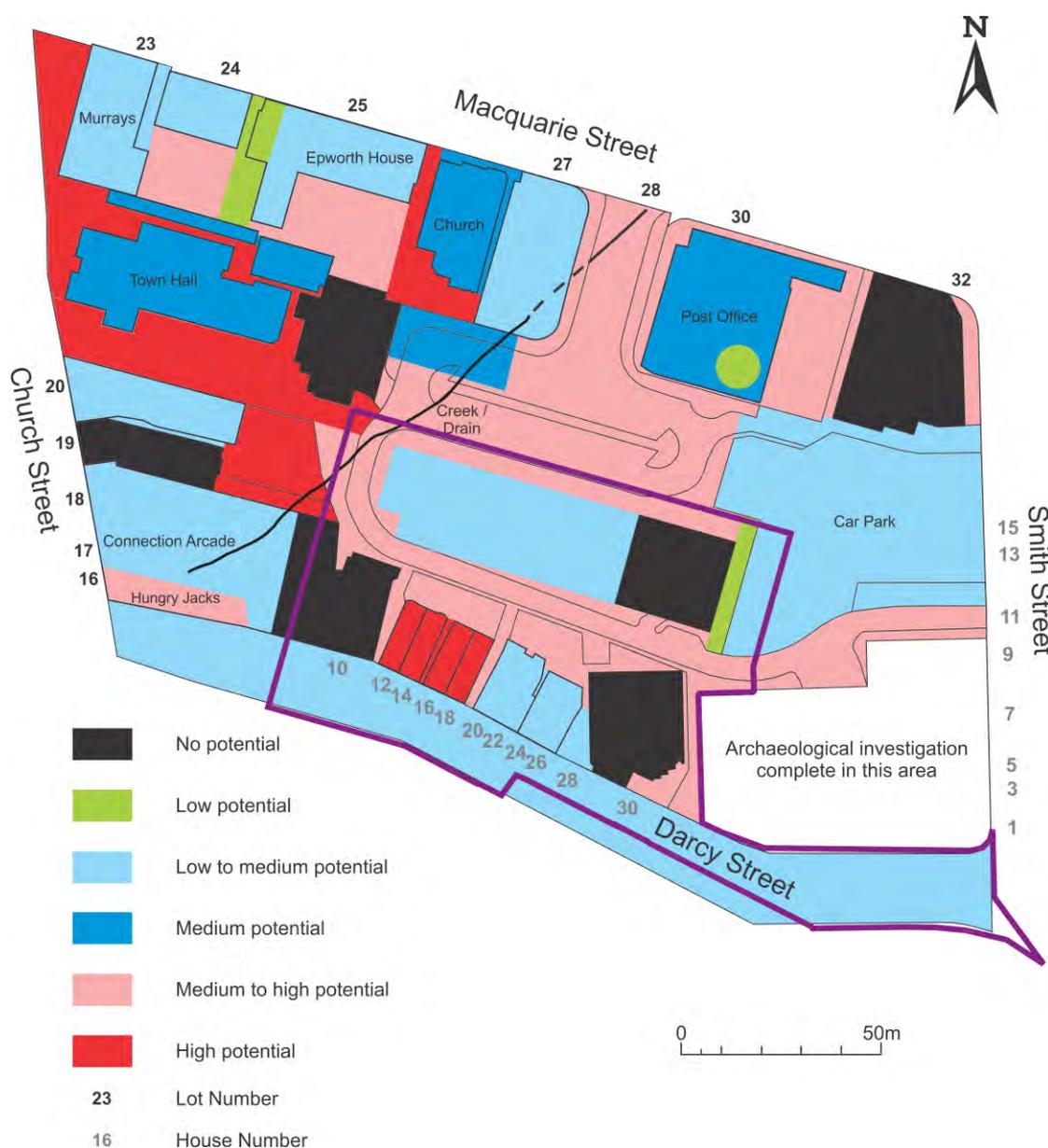
- The later the date a building was demolished then the greater the impact from larger modern machinery.
- Footing systems of single-storey buildings generally have less impact than those of multi-storey buildings.
- Demolishers and builders typically do as little as they have to because of the need to control costs.
- Higher areas get cut down and levelled and lower damp areas get filled.
- Roadways usually have impacts from modern services.

### 4.2 Assessment Criteria

The *Parramatta Square Archaeological Management Strategy* (2012) assessed the archaeological potential of the whole of Parramatta Square (Figure 4.1). Figure 4.1 illustrates the archaeological potential for the site and was updated with the amended footprint for the library basement and for 10 Darcy Street basement. A series of gradations of potential have been identified and mapped to indicate the degree to which archaeological remains are likely to survive within Parramatta Square.

The mapping of potential (Figure 4.1) does not necessarily address the actual remains within an area but the impact of 20th-century activities. The overlay maps show the likely remains within the study area (Figure 4.1, Figure 4.2, Figure 4.3). The identified levels of archaeological potential are:

- **No Potential:** the archaeological remains in this area have been removed, usually by modern basements.
- **Low Potential:** while there is likely to be quite high impacts in these areas, deeper sub-surface features such as wells, cesspits and their artefact-bearing deposits may survive.
- **Low to Medium Potential:** a mix of low and medium potential.
- **Medium Potential:** while there are impacts in this area a range of archaeological remains are likely to survive across the site, including building footings and shallower remains as well as deeper sub-surface features.
- **Medium to High Potential:** a mix of medium and high potential.
- **High Potential:** substantially intact archaeological remains could survive in these areas.



**Figure 4.1: Map of archaeological potential showing modern impacts across the Parramatta Square redevelopment area and the location of basements. PS5&6 is shaded/outlined in pink. Basement footprints updated April 2015.**

### 4.3 Overview of Post-1788 Occupation and Archaeological Potential

#### 4.3.1 Early Agriculture

- Use of the study area as part of general agriculture within Rose Hill and Parramatta.
- **Limited ephemeral archaeological potential for farming, hoe marks and environmental evidence.**

#### 4.3.2 Wentworth's Estate

- Surgeon D'Arcy Wentworth was given a lease, for 14 years on 18 October 1799 of Lot 22 (Figure 2.3).
- Lieutenant John Piper was given a lease for 14 years on 24 October 1799 of Lot 21 which was acquired by Wentworth in 1803.
- Wentworth built a house on this property, but to the south of Argyle Street, outside the study area.
- Earliest buildings shown on the 1844 plan (Figure 2.6).
- Additional buildings present by the end of the 1850s (Figure 2.12).
- **Limited archaeological potential for Wentworth's or Piper's uses of this area. Probably mostly used for grazing and watering of animals. Possibly some use of cisterns or sumps for water collection or storage in swampy areas.**

#### 4.3.3 Darcy Street Frontage

##### 10 Darcy Street

- Some limited potential for rear yard remains of houses on Argyle Street that were resumed in 1850s (Figure 2.6, Figure 2.12, Figure 4.2).
- New street frontage on Darcy Street after 1870s (Figure 2.8, Figure 2.13).
- Two semi-detached houses and another structure shown on the 1895 plan (Figure 2.17, Figure 4.3).
- Still present in 1961 but probably with additions (Figure 2.22).
- Three buildings were demolished for the extension of the Connection arcade. This includes the first of the two semi-detached houses shown on the 1895 plan, nos 2 and 6 in *Sands*.
- **Existing Buildings: former Parramatta Hotel, now Prince Peking Duck Restaurant, and eastern part of the Connection Arcade. There is a basement in the restaurant (Figure 4.1, Figure 4.2, Figure 4.3).**
- **Archaeological Potential: NO potential associated with the remains of the two houses within the basement footprint. Outbuildings possibly within the rear laneway. The extent of this basement has been updated based on PCC.**
- **Two or three phases of occupation, removed by current building.**

##### 12 to 18 Darcy Street

- Some limited potential for rear yard remains of houses on Argyle Street that were resumed in 1850s (Figure 2.12, Figure 4.2).
- New street frontage after 1870s.
- Four semi-detached houses shown on the 1895 plan (Figure 4.3). These were numbers 8 to 14 in *Sands Directory*.
- Houses and outbuildings still extant in 1961 (Figure 2.22).
- **Existing Buildings: these are the structures present on the 1895 plan (Figure 4.3). The building frontages were modified with the widening of Darcy Street.**
- **Archaeological Potential: High potential associated with the remains of the houses as they are still extant. Outbuildings were demolished and should be under the service laneway behind the buildings and would have a Medium to High level of potential (Figure 4.1). Types of remains may be limited to underfloor deposits within the houses. The late date of these houses suggests that may not have underfloor deposits.**

- **One or two phases of occupation, including current buildings which are those erected in the 1870s and shown on overlays (Figure 4.3).**

### 20 to 28 Darcy Street

- Some limited potential for rear yard remains of houses on Argyle Street that were resumed in 1850s (Figure 2.12, Figure 4.2).
- New street frontage after 1870s.
- Four semi-detached houses and outbuildings shown on the 1895 plan (Figure 4.3). These were numbers 16 to 22 in *Sands Directory*.
- Houses and outbuildings still extant in 1951 and probably the house in 1961 (Figure 2.21, Figure 2.22).
- **Existing Buildings: these appear to be three new buildings erected after the demolition of the earlier semi-detached houses.**
- **Archaeological Potential: Low to Moderate potential associated with the remains of the houses (Figure 4.1). Medium to High potential for the outbuildings to be under the service laneway.**
- **Three phases of occupation, including current buildings.**

### 30 Darcy Street

- Some limited potential for rear yard remains of houses on Argyle Street that were resumed in 1850s (Figure 2.6, Figure 2.12, Figure 4.2).
- New street frontage after 1870s.
- The 1895 plan (Figure 2.17, Figure 4.3) shows a residence on the western boundary and a commercial structure along the eastern boundary. These were numbers 24 to 26 in *Sands Directory*. Only part of this may be under 30 Darcy Street, the rest may be under 28 Darcy Street.
- House still extant in 1951 and probably in 1961 as well as extensive buildings on the site (Figure 2.21, Figure 2.22).
- **Existing Buildings: Council's main Administrative Building with a basement for carparking. Built in 1960s.**
- **Archaeological Potential: NO potential for remains within the footprint of Council's building (Figure 4.1). Medium to High potential for the evidence of structures associated with the timber yards under the service laneway. NO potential for areas now beneath the Library.**
- **Three phases of occupation, including current buildings.**

#### 4.3.4 Darcy Street Roadway

- Part of vacant land in the Wentworth Estate from 1799 to c. 1830s (Figure 2.5, Figure 4.2).
- Early leases and building of structures as shown on the 1844 and 1858 plans (Figure 2.6, Figure 4.2).
- An L-shaped building in the rear yard of one of the Argyle Street houses south of the Parramatta Hotel, 10 Darcy Street by 1858 (Figure 4.2).
- Two outbuildings, one opposite 14 Darcy and another near 28 Darcy Street (Figure 4.3).
- Possibly part of a structure on the southern edge near the railway opposite Council's building but also impacts identified possibly removing shallower remains.
- A range of yard type deposits are likely to be found along the length of the roadway, such as cesspits, wells, rubbish pits and other archaeological remains associated with the four houses that were aligned along Argyle Street.
- 19th-century and modern services. There are at least three sets of modern services: water, gas and telecommunications.
- **Existing Buildings: No buildings, roadway with compacted road base overlaid with bitumen surfacing.**

- Archaeological work associated with the Parramatta Transport Interchange identified that the southern side of Darcy Street were highly impacted by services with little intact soil profile being present.<sup>102</sup> Therefore potential remains may be limited to deeper sub-surface features if these survive at all.
- **Archaeological Potential: Low-Medium archaeological potential (Figure 4.1)** as many of the likely features are deeper sub-surface remains, such as wells and cesspits. Modern services will have caused disturbance to features as will have the laying of the tramline.

#### 4.3.5 Central Area

This area is in the rear of many of the properties as shown on the 1895 plan (Figure 4.3).

- Generally discussed in the above lists.
- Convict drain and earlier creek line is in the northwest corner and it is found within other areas of the site (Figure 4.2, Figure 4.3).
- Two ponds shown by 1858 (Figure 2.12, Figure 4.2), potentially backfilled with artefacts and may include pollen deposits.
- There were additional buildings constructed and demolished within the central areas during the mid 20th century (Figure 2.20, Figure 2.21, Figure 2.22). These were large market and stores and were most likely slab on ground with corrugated iron structures.
- **Existing Buildings: Library, Council's former 1950s Administrative Offices, carparks and roadway.**
- **Archaeological Potential: both the library and 1950s Council buildings have basements which are considered to have removed all of the archaeology within this area (Figure 4.1). These are considered to have NO archaeological potential. The carpark areas, with the 20th-century impacts, are considered to have a Medium to High degree of archaeological potential.**
- Two known phases of building aside from the convict drain.

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<sup>102</sup> Casey & Lowe 2007:12.



Figure 4.2: Overlay of 1823, 1844 and 1858 historic plans onto the modern streets (black) and basements (grey). The PS5&6 study area is outlined.



Figure 4.3: Overlay of the 1895 plan onto the modern streets with basements (grey). The PS5&6 study area is outlined and the street numbers discussed in this section are indicated.

#### 4.4 Summary of Archaeological Potential

Table 4.1: Summary table of archaeological potential within the PS5&6 study area.

Area	Archaeological Potential
10 Darcy Street (Connection Arcade/Prince Peking Duck Restaurant	<ul style="list-style-type: none"> <li>▪ A basement associated with the Parramatta Hotel is partially within this lot. This would have removed archaeology in this area. <b>No Potential.</b></li> <li>▪ There is the possibility of the remains of outbuildings in the rear laneway. <b>Low Potential.</b></li> </ul>
12-18 Darcy Street	<ul style="list-style-type: none"> <li>▪ Rear yard deposits and structures of houses resumed in 1850s. <b>Medium to High Potential.</b></li> <li>▪ Extant remains of four semi-detached houses and outbuildings built in 1870s and shown on 1895 plan. Frontages modified with the widening of Darcy Street. <b>High Potential.</b></li> <li>▪ Outbuildings and rear yards of houses should be under service laneway at rear. <b>Medium to High Potential.</b></li> </ul>
20-28 Darcy Street	<ul style="list-style-type: none"> <li>▪ Remains of four semi-detached houses built in 1870s and shown on 1895 plan. Extant structures appear to be a mixture of rebuilt shells and older structures. <b>Low to Moderate potential.</b></li> <li>▪ Outbuildings for houses should be under service laneway at rear. <b>Medium to High Potential.</b></li> </ul>
30-38 Darcy Street	<ul style="list-style-type: none"> <li>▪ A basement associated with the Council's main Administrative Building would have removed archaeology within the footprint of the building. <b>No Potential.</b></li> <li>▪ Structures associated with the timber yards under the service laneway. <b>Medium to High Potential.</b></li> </ul>
Darcy Street roadway	<ul style="list-style-type: none"> <li>▪ Probably highly impacted upon by services.</li> <li>▪ Because of disturbance there is only the possibility for the survival of deep subsurface remains, such as wells and cesspits. <b>Low to Medium Potential.</b></li> </ul>
Central Area	<ul style="list-style-type: none"> <li>▪ Limited potential for use of area as part of Wentworth's estate, for grazing and watering of cattle. <b>Low to Medium Potential.</b></li> <li>▪ A basement associated with the Library would have removed archaeology in this area. <b>No Potential.</b></li> <li>▪ Western two-thirds of library building has limited potential for 20th-century archaeology and environmental evidence. <b>Low to Medium Potential.</b></li> <li>▪ Mostly vacant prior to late 19th century, two 'ponds' shown on plan. <b>Low to Medium Potential.</b></li> <li>▪ Various buildings associated with the rear of many of the Darcy Street properties shown on the 1895 plan, likely impacted by the later, mid-20th century buildings, now in the carpark. <b>Medium to High Potential.</b></li> </ul>
General	<ul style="list-style-type: none"> <li>▪ Ephemeral evidence of early agricultural activities. <b>Low to Medium Potential.</b></li> </ul>

## 5.0 Heritage Significance

### 5.1 Heritage Significance

This section has been updated to be in accordance with the Heritage Branch 2009 guidelines: *Assessing significance for historical archaeological sites and relics*.

Apart from NSW State guidelines, the nationally recognised Australia ICOMOS Charter for the Conservation of Places of Significance (*The Burra Charter*) also defines ‘cultural significance’ as meaning:

*‘aesthetic, historic, scientific and social value for past, present and future generations.’*

Significance is therefore an expression of the cultural value afforded a place, site or item.

Understanding what is meant by value in a heritage sense is fundamental, since any society will only make an effort to conserve things it values. In terms of built heritage, what we have inherited from the past is usually places that have been continuously cared for. Conversely, many archaeological sites will comprise places which, for whatever reason, have not been cared for until the relatively recent period.

Our society considers that many places and items we have inherited from the past have heritage significance because they embody, demonstrate, represent or are tangible expressions of values society recognises and supports. Our future heritage will be what we keep from our inheritance to pass on to the following generations.<sup>103</sup>

### 5.2 Basis of Assessment of Heritage Significance

To identify the heritage significance of an archaeological site it is necessary to discuss and assess the significance of the study area. This process allowed for the analysis of the site’s manifold values. These criteria are part of the system of assessment which is centred on the *Burra Charter* of Australia ICOMOS. The Burra Charter principles are important to the assessment, conservation and management of sites and relics. The assessment of heritage significance is enshrined through legislation in the NSW *Heritage Act 1977* and implemented through the *NSW Heritage Manual* and the *Archaeological Assessment Guidelines* and *Assessing significance for historical archaeological sites*.<sup>104</sup>

The nature of heritage values and the degree of this value will be appraised according to the following criteria:<sup>105</sup>

#### 5.2.1 Nature of Significance Criteria:

Criterion (a): *Historic Significance - (evolution)*

an item is important in the course, or pattern, of NSW’s cultural or natural history (or the cultural or natural history of the local area);

Criterion (b): *Associative Significance – (association)*

an item has strong or special association with the life or works of a person, or group of persons, or importance in NSW’s cultural or natural history (or the cultural or natural history of the local area);

<sup>103</sup> This section is an extract based on the Heritage Office *Assessing significance for historical archaeological site*, 2009:1.

<sup>104</sup> NSW Heritage Office 1996:25-27; ‘Assessing Heritage Significance’, a NSW Heritage Manual update from the Heritage Office website (July 2001); Heritage Branch 2009 *Assessing Significance for Historical Archaeological Sites and Relics*.

<sup>105</sup> NSW Heritage Office 2001, NSW Heritage Office 2009.

Criterion (c): *Aesthetic Significance - (scenic qualities / creative accomplishments)*

an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the cultural or natural history of the local area);

Criterion (d): *Social Significance - (contemporary community esteem)*

an item has a strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons (or the cultural or natural history of the local area);

Criterion (e): *Technical/Research Significance - (archaeological, educational, research potential and scientific values)*

an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area);

Criterion (f): *Rarity*

an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area);

Criterion (g): *Representativeness*

an item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places of cultural or natural environments (or the cultural or natural history of the local area).

To be assessed as having heritage significance an item must:

- meet at least one of the one of the seven significance criteria
- retain the integrity of its key attributes

If an item is to be considered to be of State significance it should meet more than one criterion, namely in the case of relics, its research potential.<sup>106</sup> Archaeological Significance:

may be linked to other significance categories especially where sites were created as a result of a specific historic event or decision, or when sites have been the actual location of particular incidents, events or occupancies.

Other relevant factors may be comparative values related to the intactness and rarity of individual items. The rarity of individual site types is an important factor, which should inform management decisions.

Relics must also be ranked according to their heritage significance as having:

- Local Significance
- State Significance

If a potential relic is not considered to reach the local or State significance threshold then it is not a relic under the *NSW Heritage Act*.

'*State heritage significance*', in relation to a place, building, work, relic, moveable object or precinct, means significance to the State in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.

<sup>106</sup> Heritage Branch, *Assessing Significance for Historical Archaeological Sites and Relics* 2009:9.

'Local heritage significance', in relation to a place, building, work, relic, moveable object or precinct, means significance to an area in relation to the historical, scientific, cultural, social, archaeological, architectural, natural or aesthetic value of the item.<sup>107</sup>

### 5.2.2 Research Potential

*Research potential is the most relevant criterion for assessing archaeological sites. However, assessing research potential for archaeological sites can be difficult as the nature or extent of features is sometimes unknown, therefore judgements must be formed on the basis of expected or potential attributes. One benefit of a detailed archaeological assessment is that the element of judgement can be made more rigorous by historical or other research.*<sup>108</sup>

#### Assessment of Research Potential

Once the archaeological potential of a site has been determined, research themes and likely research questions identified, as addressed through archaeological investigation and analysis, the following inclusion guidelines should be applied:

*Does the site:*

- (a) contribute knowledge which no other resource can?*
- (b) contribute knowledge which no other site can?*
- (c) is the knowledge relevant to general questions about human history or other substantive problems relating to Australian History, or does it contribute to other major research questions?*<sup>109</sup>

If the answer to these questions is yes then the site will have archaeological research potential. The new significance guidelines have taken a boarder approach

### 5.2.3 Level of Heritage Significance

New criteria were developed in 2009 to identify whether the archaeological resource is of Local or State significance.<sup>110</sup> The following four criteria were identified in the 2009 guidelines and are considered to be relevant to Parramatta Square:

- *Archaeological Research Potential (current NSW Heritage Criterion E).*
- *Associations with individuals, events or groups of historical importance (NSW Heritage Criteria A, B & D).*
- *Aesthetic or technical significance (NSW Heritage Criterion C).*
- *Ability to demonstrate the past through archaeological remains (NSW Heritage Criteria A, C, F & G).*

The new significance guidelines were designed to assess significance in light of the amendments to the definition of relics needing to be of either local or State significance. The examples provided were fairly obvious ones but do not help us work out whether a less obvious site has State rather than local significance. This means that it is basically down to the skill and expertise of the archaeologist assessing the site.

<sup>107</sup> This section is an extract based on the Heritage Office *Assessing Significance for Historical Archaeological Sites and Relics* 2009:6.

<sup>108</sup> NSW Heritage Office 1996:26.

<sup>109</sup> Bickford, A. & S. Sullivan 1984:23.

<sup>110</sup> Heritage Branch, Dept of Planning 2009.

## 5.3 Discussion of Heritage Significance

### 5.3.1 Discussion of Heritage Significance

The *Parramatta Square Archaeological Management Strategy* (2012) discussed the items within the PS5&6 study area as being of Local Significance.<sup>111</sup> The discussion from that report has been reviewed and made relevant to the current study area.

This discussion of heritage significance specifically relates to the potential archaeological remains. The heritage buildings and spaces are included in other reports, i.e. the 2003 CMP and current Heritage Impact Statements.

#### **Criterion (a): Historic Significance - (evolution)**

**an item is important in the course, or pattern, of NSW's cultural or natural history (or the cultural or natural history of the local area).**

As there are no structures shown on plan prior to 1844, the land within the study area has very limited potential to contain archaeological remains dating from the early occupation of Parramatta, likely limited to ephemeral agricultural marks and environmental information. Other parts of the Parramatta Square study area are considered to have a higher potential and better preserved evidence of this early phase of use. Any early remains within the study area will have the ability to represent the changing nature of Parramatta's settlement throughout the 19th century, including commercial and residential activities and the changing pattern of urban structures.

#### **Criterion (b): Associative Significance – (association)**

**an item has strong or special association with the life or works of a person, or group of persons, or importance in NSW's cultural or natural history (or the cultural or natural history of the local area).**

The study area is located within D'Arcy Wentworth's land grant of 1796. In 1796, D'Arcy Wentworth returned to New South Wales after acting as surgeon at Norfolk Island. On 18 October 1799 he was given a lease for 14 years of 6 acres 20 rods on the east side of the main road leading to Sydney in the town of Parramatta. Governor King extended Wentworth's lease for 14 years from 1 January 1806, 'In consequence of the house and other improvements, Mr Wentworth has made on his lease'.<sup>112</sup> On 31 August 1819, this land was formally granted to D'Arcy Wentworth, esquire. It comprised 31 acres in the District of Parramatta and appears to have incorporated Piper's land as well. This grant is now known as Portion 196, Parish of St. John.<sup>113</sup>

Surgeon D'Arcy Wentworth was a prominent figure in early Sydney society, having previously acted as a convict superintendent on Norfolk Island.<sup>114</sup> Wentworth was instrumental in establishing the Bank of New South Wales in 1816 and was at times on good terms with Governors John Hunter and Philip King.<sup>115</sup> Wentworth was also Governor Macquarie's personal physician. Wentworth resided in the colony for 37 continuous years, and became one of its most significant and influential government officials and free settlers.<sup>116</sup> This association with D'Arcy Wentworth, however, is not likely to be found to reside in the potential archaeological remains of the site, other than ephemeral activities within the landscape.

<sup>111</sup> Casey & Lowe September 2004, *Archaeological Management Strategy, Parramatta Square, Parramatta*.

<sup>112</sup> LTO Grants Reg 2B, No 849.

<sup>113</sup> Grants 11 No 58.

<sup>114</sup> *Australian Dictionary of Biography (ADB)*, D'Arcy Wentworth.

<sup>115</sup> ADB

<sup>116</sup> ADB

**Criterion (c): Aesthetic Significance - (scenic qualities / creative accomplishments)**

**an item is important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW (or the cultural or natural history of the local area).**

The remains within the study area have no potential for aesthetic significance. As acknowledged in PHALMS, 'the archaeological resources of this AMU have no known aesthetic significance although it is recognised that exposed *in situ* archaeological remains may have distinctive/attractive visual qualities'. While archaeological remains may have aesthetic value, mostly through their novelty and age, they are not 'important in demonstrating aesthetic characteristics and/or a high degree of creative or technical achievement in NSW'. Their aesthetic values are more by accident than design.

**Criterion (d): Social Significance - (contemporary community esteem)**

**an item has a strong or special association with a particular community or cultural group in NSW for social, cultural or spiritual reasons (or the cultural or natural history of the local area).**

The archaeological remains within the study area may have an association with local community groups who have an interest in heritage. Mary Casey has given a number of talks on the archaeology of Parramatta and they have mostly been well attended. Traditional Aboriginal groups are likely to have a strong association to this place because of the annual feasts.

Casey & Lowe have been involved in an exhibition on Parramatta's archaeology: *Breaking the Shackles, Historic Lives in Parramatta's Archaeological Landscape*. A catalogue of the same title was produced for the exhibition. More than 6000 people attended the exhibition and it was very favourably received, indicating that some members of the local and regional community consider the archaeology of Parramatta is significant.

**Criterion (e): Technical/Research Significance - (archaeological, educational, research potential and scientific values)**

**an item has potential to yield information that will contribute to an understanding of NSW's cultural or natural history (or the cultural or natural history of the local area).**

The PS5&6 study area is likely to contain archaeological remains, including:

- Early agricultural evidence as part of early farming (1788-1790s) and prior to subdivision. Limited potential for ephemeral remains such as agricultural marks and environmental information.
- Wentworth Estate and Subdivision; while there are no known structures associated with the Wentworth Estate, the use of this land for grazing, watering of animals, remains may include ephemeral evidence such as agricultural marks and environmental information and possible remains of brick cisterns/sumps at the edge of swampy areas for water collection.
- Yard areas and features site of structures shown on 1844 plan and an additional two structures on the 1858 plan, including associated outbuildings, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.
- Two 'ponds' shown on 1858 plan in the northern end of the study area. Potentially backfilled with artefacts and may include pollen deposits and general environmental evidence.
- Elements of the Town Drain running across the northwest corner of the study area.
- Archaeology of eight semi-detached houses and their outbuildings, yard deposits, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.

The archaeological recording and analysis of these remains has the ability to address a range of research questions. The most relevant to the PS5&6 study area are:

#### Convict and Free Life in Colonial Parramatta

- Nature of early agricultural practices. Address this issue through both the analysis of archaeological features as well as through analysis of early pottery and pollen samples.
- Evidence associated with the occupation of this site by known individuals may reveal interesting insights into family patterns and behaviour.
- Consumption and commerce in colonial Parramatta:
  - How does it link into issues associated with local, regional and global economies?
  - What does it tell us about cultural and social practices in colonial Parramatta, relating to lifeways, diet and other issues associated with consumption?
  - How do patterns of consumption further our understanding of how early residents of Parramatta used material culture in the construction of personal and group identity?

#### Landscape of Colonial Parramatta

- Nature and affect of modification of the pre-European landscape.
- Evidence for the pre-European landscape.
- Remaking of the landscape - the social, cultural and political context and how it was manifest in this landscape.<sup>117</sup> Are many of the same issues influencing the way in which the landscape was formed similar to those which affected the Sydney Domain? This is much more likely due to the relationship of St John's church to the site and how the Macquaries remade the colonial landscape.
- Order and amenity: is the layout of houses and other structures the result of cultural and social practices? What was the role of these practices in changing the landscape and modifying people's behaviour?<sup>118</sup>

#### Life in the Various Households throughout the 19th and early 20th Centuries

- The range and variation apparent within the households where a range of families resided.
- Evidence for the nature of childhood and the way in which gender identities were constructed.
- The nature of the material culture and consumption patterns of the various households; how these remains related to the transformation of their environment from frontier and rural town and to an urban place.
- House sizes vary across the site, notably between the Smith, Darcy and Macquarie Street frontages, suggestive that there may be economic differences present within the houses. These differences might be represented within the archaeological evidence.
- Layout of the house and outbuildings and how this structured life in these households.
- Is there evidence for customary patterns (buildings, food, religious practice, cultural artefacts)?
- How was material culture used to represent personal, ethnic, religious and/or group identity?

#### Other Relevant Questions

There may be types of remains that would be encountered that may be able to address other research questions. These could include:

- Do we have evidence for early semi-industrial and work practices associated with the archaeological remains? How are they different, what do they say about early practices?

<sup>117</sup> This general topic was the focus of Mary Casey's 2002 PhD thesis in relation to the Sydney Domain (Casey 2002). Development of these ideas in relation to Parramatta was undertaken in Casey 2009, in Casey & Hendriksen (eds) 2009.

<sup>118</sup> Some of these issues were the focus of analysis in Casey 2002.

- Is there evidence for the Wentworth's Estate practices in this area?
- Evidence for Aboriginal and British peoples' activities and contact during early settlement.

It should be noted that the archaeological evidence may provide us with a range of information we are not expecting and the research questions are likely to evolve depending upon the type of evidence and artefacts found at the site.

**Criterion (f): *Rarity***

**an item possesses uncommon, rare or endangered aspects of NSW's cultural or natural history (or the cultural or natural history of the local area).**

Aspects of the remains within Parramatta Square are considered to be rare, notably those sites that were built on prior to 1823 and therefore shown on the 1823 plan. As there are no recorded structures within the PS5&6 study area prior to 1844, the potential remains are not associated with the original settlement phases of the town as identified in PHALMS as being Exceptional. The potential archaeological remains associated with the subdivision and occupation of the Wentworth Estate is considered not to be rare but more representative of post-1844 Parramatta.

Higginbotham has suggested that the Town Drain is a rare example of an early organised civic building program. This opinion was expressed some years ago when there was much less evidence than there is today to assess the rarity factor of early drains. Considerable work undertaken during the 1990s up to today in the Sydney CBD, Liverpool and elsewhere does suggest that there were more early drains than anticipated. Work by Casey & Lowe found remains of a similar sandstone slab box drain at Liverpool. In the mid 1990s, work undertaken by Casey & Lowe in Argyle Street, the Rocks, found remains of large stone box drain which was probably associated with the 1850s extension of Semi-Circular Quay in this area. The construction of large barrel drains was part of building the early sewerage system in Sydney from the 1850s and 1860s, including the Bennelong Outfall. In 2004 Higginbotham undertook additional analysis of the box drain across the road from Parramatta Square and dated it to the 1840s. This may suggest that it is not actually convict built but could also have been built by later convicts who were located at Parramatta Gaol and undertook building works for council. This re-analysis suggests that while the brick barrel drain which is considered to date to the 1820s and is genuinely rare, the sandstone slab box drain type of construction is not as rare. It is noted that this drain is thought to be part of an important system that drained the swampy land of Civic Place to make it habitable.

**Criterion (g): *Representativeness***

**an item is important in demonstrating the principal characteristics of a class of NSW's cultural or natural places of cultural or natural environments (or the cultural or natural history of the local area).**

The 19th-century archaeological remains within the PS5&6 study area are considered to be representative of NSW cultural places. The archaeological structures, features, deposits and artefacts predicted to be found within the study area have the potential to provide representative and comparative data.

As a group they represent a range of social and cultural places which could be found in the heart of all early colonial townships and throughout these townships. They represent a continuity of social and cultural practice for more than 150 years.

### 5.3.2 Levels of Significance

The 2009 significance guidelines identified a series of questions that could address this level of significance for archaeological sites and relics. Many of these have been addressed within the discussion of significance but are further discussed below:

#### 5.3.2.1 Archaeological Research Potential (Criterion E)

- **To which contexts (historical, archaeological and research-based) is it anticipated that the site will yield important information?**
- **Is the site likely to contain the mixed remains of several occupations and eras, or is it expected that the site has the remains of a single occupation or a short time-period?**
- **Is the site rare or representative in terms of the extent, nature, integrity and preservation of the deposits (if known)?**
- **Are there a large number of similar sites?**
- **Is this type of site already well-documented in the historical record?**
- **Has this site type already been previously investigated with results available?**
- **Is the excavation of this site likely to enhance or duplicate the data set?**

The study area is considered to have considerable ability to yield archaeological information which is relevant to both historical, archaeological and research based contexts. The Darcy Street frontages have later 19th-century housing and typically have a single main phase of occupation. Darcy Street has low potential for remains associated with 1830s to 1858 housing and / or yard areas. Most of the PS5&6 study area was not part of the original convict settlement and therefore PHALMS considers it to have high rather than exceptional research potential. Similar sites are found throughout the Parramatta CBD and there are a number of standing buildings dating from this phase. Most of the archaeology is considered to be representative of that phase and time. In terms of integrity of the potential archaeological resource within the PS5&6 study area, some parts of the site (the Library, Council Building and parts of the Connection Arcade) have basements which have removed potential archaeological remains. As discussed in the rarity section there are a number of sites dating from the 1830s and many more from the later 19th century.

The detailed historical research in Chapter 2 indicates that there is considerable historical information about who owned land and who may have lived on properties but this information is not really about the site itself.

This type of site has previously been investigated on many sites in Parramatta. Archaeology dating from 1830s to 1900 is typically found on many sites in Parramatta worth investigating. It has also been retained on a number of sites. It is noted that only a limited number of archaeological projects in Parramatta have archaeological reports available, notably those by Edward Higginbotham, Godden Mackay Logan and Casey & Lowe. Much of the predicted archaeology in the study area post-dates the 1844. Anything dating earlier than this is likely to enhance the data set. The archaeological excavation at 1 Smith Street identified a significant Depression-period artefact deposit which to our knowledge has not been duplicated in Parramatta. Later 19th-century archaeology, depending upon the results, may duplicate the data set. Most 20th-century archaeology consists of little other than footings and is considered to offer little additional archaeological data.

### 5.3.2.2 Associations with individuals, events or groups of historical importance (Criteria A, B & D)

- Does the archaeological site link to any NSW Historic Themes? Will the site contain ‘relics’ and remains which may illustrate a significant pattern in State or local history?
- Is the site widely recognised?
- Does the site have symbolic value?
- Is there a community of interest (past or present) which identifies with, and values the specific site?
- Is the site likely to provide material expression of a particular event or cultural identity?
- Is the site associated with an important person? (the role of the person in State or local history must be demonstrated/known)
- What is the strength of association between the person and the site?
- Did the person live or work at the site? During the phase of their career for which they are most recognised? Is that likely to be evident in the archaeology /physical evidence of the site?
- Did a significant event or discovery take place at the site? Is that evident/or likely to be evident in the archaeology/physical evidence of the site?

The key historic themes relating to the study area are:

Australian Theme	NSW Theme	Local
2) Peopling Australia	Aboriginal cultures and interactions with other cultures.	– Indigenous/Interaction: Evidence about the lives of Aboriginal people and the nature of interaction.
4) Building settlements, towns and cities	<ul style="list-style-type: none"> <li>▪ Towns, suburbs and villages</li> <li>▪ Accommodation activities</li> <li>▪ Land tenure</li> <li>▪ Utilities</li> </ul>	<ul style="list-style-type: none"> <li>– Building settlements</li> <li>– Housing</li> <li>– Land tenure</li> <li>– Gov. Phillip’s and Macquarie’s town layout</li> <li>– Market place and Civic centre</li> <li>– Water &amp; drainage</li> </ul>
7) Governing	<ul style="list-style-type: none"> <li>▪ Government and Administration - Activities associated with the governance of local areas, regions, the State and the nation, and the administration of public programs - includes both principled and corrupt activities.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Government and administration</li> </ul>
8) Developing Australia’s cultural life	<ul style="list-style-type: none"> <li>▪ Domestic life</li> <li>▪ Leisure</li> <li>▪ Religion</li> <li>▪ Social Institutions</li> </ul>	Activities associated with: <ul style="list-style-type: none"> <li>▪ creating, maintaining, living in and working around.</li> <li>▪ recreation and relaxation</li> <li>▪ arrangements for the provision of social activities.</li> </ul>
9) Marking the phases of life	<ul style="list-style-type: none"> <li>▪ Persons</li> </ul>	<ul style="list-style-type: none"> <li>▪ Persons - May include individuals, families, dynasties, birthplace, place of residence, women's sites.</li> </ul>

Aspects of the heritage of the whole Parramatta Square site are widely recognised, mostly the standing buildings of the Town Hall etc. The study area is located within close proximity to Civic Place, known for its association with the Annual Feasts for Aborigines and with Governor Macquarie

who established this event which appears to have been held in the Market Place. Also the location of the Town Hall to the north of the study area, as the site of the early Market Place, is well known. The Town Hall site to the immediate northwest of the study area has symbolic value for Aboriginal people and for its association with Governor Macquarie. The archaeological remains within the PS5&6 study area itself do not share this symbolic value.

The traditional Aboriginal groups identify the market place, the site of the Annual Feasts, as highly significant. There is general community interest within Parramatta about its heritage. It is unlikely the study area will provide material expression of a particular event or cultural identity. While the Annual Feasts were large there is not likely to be any particular archaeological remains within the study area which could be associated with the feasts.

The study area is associated with D'Arcy Wentworth, a prominent medical practitioner and early land holder. This is discussed in detail in Criterion B above. It is one of many sites associated with D'Arcy Wentworth in the Sydney region. He was granted large amounts of land in the late 18<sup>th</sup> and early 19<sup>th</sup> centuries. There is likely to be little if any archaeological potential to attest to this association. D'Arcy Wentworth had a house constructed on the Parramatta grant (portion 196), but it is located outside the PS5&6 study area, some distance to the south. It is unlikely that there would be substantial physical evidence of Wentworth's use of his estate within the study area.

As discussed above this was likely to have been associated with the site of the Annual Feast with the Aboriginal tribes which was a significant event for Aboriginal communities and early colonial society. In terms of potential archaeological evidence it is unclear if there is likely to be anything more than ephemeral evidence.

#### **5.3.2.3 Aesthetic or technical significance (NSW Criterion C):**

- **Does the site/is the site likely to have aesthetic value?**
- **Does the site/is the site likely to embody distinctive characteristic?**
- **Does the site/is the site likely to embody a distinctive architectural or engineering style or pattern/layout?**
- **Does the site demonstrate a technology which is the first or last of its kind?**
- **Does the site demonstrate a range of, or change in, technology?**

All archaeological sites can have incidental aesthetic values, notably in relation to the process of ruination but this cannot be determined until a site is excavated. We consider this to be an incidental part of this site, meaning there is no intentionality involved in such an aesthetic outcome.

It is considered that the archaeological potential of this site and its characteristics are similar to other archaeological sites in Parramatta. There is little ability for the site to embody distinctive technology, architecture or engineering nor is it anticipated to indicate a range or change in technology.

### 5.3.2.4 Ability to demonstrate the past through archaeological remains (NSW Heritage Criteria A, C, F & G).

- Does the site contain well-preserved or rare examples of technologies or occupations which are typical of particular historic periods or eras of particular significance?
- Was it a long-term or short-term use?
- Does the site demonstrate a short period of occupation and therefore represents only a limited phase of the operations of a site or technology or site? Or does the site reflect occupation over a long period?
- Does the site demonstrate continuity or change?
- Are the remains at the site highly intact, legible and readily able to be interpreted?

While the site may contain 'well-preserved' or rare examples of remains and artefacts, this will not be known prior to the uncovering of such remains. In terms of archaeological potential much mid-19th-century archaeology is considered to be representative. The study area was leased from 1831 and structures start to be erected after this date, certainly by 1844. The study area was then inhabited until the present day. Any use prior to the 1830s is likely to have been agricultural in nature. The study area as represents a series of both long-term and short-term occupation. The study area is expected to demonstrate a mixture of continuity and change. The site is likely to contain a mixture of relatively intact and legible archaeology but the degree of this prior to excavation is unclear.

## 5.4 Statement of Heritage Significance

The PS5&6 study area has the potential to contain a range of archaeological remains with historical, associative, social, research and representative significance. The PS5&6 study area has the potential to contain a wide variety of archaeological remains representing the evolution of Parramatta from an agricultural settlement to burgeoning township and onto an urban centre. Among these potential remains are:

- Possibly some ephemeral remains of the Annual Native Feasts (limited to small area in northwest corner of study area).
- The yard remains of post-1844 housing along Darcy Street, within the former Wentworth Estate.
- Approximately eight to nine houses and the timber yard fronting Darcy Street (shown on 1895 plan) with associated outbuildings, cesspits, wells, rubbish pits, drains, fencelines, deposits, etc.
- Two 'ponds' in the northern edge of the study area.
- The 1840s Town Drain, approximately 6m to 12m and the associated creekline.

The remains, through archaeological excavation, recording, analysis and interpretation, have the ability to address a range of substantive research questions, notably those relating to the broad themes of:

- The nature of convict and free life in Parramatta.
- The modification and evolving landscapes of Parramatta in particular and colonial landscapes in general.
- The lifeways of a range of different households through 170+ years of life in Parramatta and the expression of them through material culture and consumption.
- The development of a commercial urban centre, seen in the development of shops along Church Street, the main 19th-century thoroughfare of Parramatta.

The heritage-listed Parramatta Town Drain is probably associated with a late-phase of convict building works as it is thought to have been constructed using convict labour around 1841. It has technical significance as a well-known example of large-scale public drainage works in Parramatta.

Several sections of this drain have been removed by earlier developments in Parramatta. Similar drains are known elsewhere in NSW, which decreases the overall rarity and significance of the Parramatta Town Drain to be only an item of local heritage significance.

The potential archaeological remains are considered to have local significance, with the exception of a small area of the northwest corner that may fall within the State significant curtilage around the Town Hall (Figure 5.1).

#### **Archaeological remains of State Significance within the PS5&6 Study Area**

The heritage significance of the area is illustrated in Figure 5.1 below. Within the PS5&6 study area there is only one small area in the northwest corner (measuring approximately 5 x 5m) that is considered to be associated with the site of the State significant Annual Feast. This small area is the result of a conflict between the curtilage of State significance around the Town Hall, first mapped by Casey & Lowe in the AMS in 2004 (updated 2012), and the geographical and cadastral boundaries of the current Parramatta Square development areas. As such, there has been no in-depth discussion of the history or archaeological potential within this area of potential State significance. Apart from this small area, the PS5&6 study area is considered to contain remains of Local significance. It is note that the fabric of the potential State significant 1813 market building is a considerable distance from the northwest corner of this property.

#### **Archaeological remains of local Significance within the PS5&6 Study Area**

The potential archaeological remains of local significance within the study area include:

- Ephemeral remains associated with early agriculture, such as hoe marks and environmental evidence.
- Remains associated with the use of the Wentworth Estate which is mostly thought to be for grazing and watering of animals.
- The yard remains of post-1844 housing along Darcy Street, within the former Wentworth Estate.
- The remains of later 19th-century housing along the Darcy Street frontage.
- Surviving remains with Darcy Street roadway.
- Remains and / or backfilling of two 'ponds'.
- Remains of the Town Drain (1840s).



**Figure 5.1: Map of potential heritage significance based on the discussion and assessment of significance in the study area.**

## 6.0 Impacts of the proposed design

### 6.1 Description of proposed works

The PS5&6 development area includes the central southern section of the Parramatta Square study area. It also includes a section in the eastern part of Darcy Street (Figure 6.1). At present, the proposed development involves the bulk excavation of the entire area to RL -15.50 NOM (Figure 6.2, Figure 6.3).

### 6.2 Impact of the proposed works

The proposed development will remove all archaeological remains within the study area. The archaeological remains may include:

- Ephemeral remains associated with early agriculture, such as hoe marks and environmental evidence.
- Remains associated with the use of the Wentworth Estate which is mostly thought to be for grazing and watering of animals and some possible ephemeral remains associated with these activities.
- The yard remains of post-1844 housing along Darcy Street, within the former Wentworth Estate.
- Archaeology of eight semi-detached houses and their outbuildings, yard deposits, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.
- Surviving remains with Darcy Street roadway.
- Remains and / or backfilling of two 'ponds'.
- Approximately 6m of the c.1840s Town Drain.

#### 6.2.1 Town Hall site

The current boundaries of PS5&6 includes a small area in the northwest corner of the study area that is in the vicinity of the current Council Chambers building. There is a discrepancy between the new development area boundaries and the historic property boundaries, which has resulted in this approximately 5 x 5m area which is positioned within the area considered to have potential for State significant archaeological remains.

It is likely that the historic boundary around the market building/Town Hall has not really changed since the 1810s but it was not uncommon for early surveying to be inaccurate to some degree or that fence lines were inaccurately located. The 1813 market building is considered to be considerably to the west of the study area.

#### 6.2.2 Town Drain – LEP Item

One of the maps illustrating the location of the Town Drain (Figure 3.11) is based on a modern stormwater plan and its accuracy in terms of actual location of the drain within Civic Place is questionable. Also the LEP map has been found to be inaccurate in terms of the known archaeological remains adjacent to Barrack Lane (Figure 3.7) and predictions for the study area.<sup>119</sup> The most accurate location for the drain is taken from the 1895 plan when the actual drain would have been surveyed in (Figure 2.17, Figure 2.18, Figure 4.3). By 1907 it appears to have been superseded by a more modern stormwater/sewerage system running parallel and to the east of the drain illustrated in the 1895 plan (Figure 2.18) but a similar length of the open channel was still visible on the 1943 aerial (Figure 2.20). A later sewerage/stormwater plan from c.1981 probably illustrates what was encountered in the drain video recorded in 2012. This line appears to be to the east of the sewer shown, therefore it is considered that the drain mapped on the 1895 plan is the

<sup>119</sup> Casey & Lowe 2015 *Archaeological Assessment, Heritage Impact Statement & S139(4) Exception Application, Barrack Land, Parramatta*

most likely surviving section of drain. This would place approximately 6m of the town drain within PS5&6.

This raises the question as to whether the drain ever extended to the southwest along the creek line illustrated in 1858 (Figure 3.24)? This is unclear. While the 1858 plan post-dates the likely 1840s construction of the sandstone box drain it is not labelled and it is not shown on the 1895 plan. This may mean the creek or drain was backfilled between 1858 and 1895. Based on current evidence and analysis it can neither be confirmed nor denied if the line to the southwest of PS5&6 (in PS2) was a creek or a creek channelized as a sandstone box drain.

Therefore it is likely that an approximately 6m to 12m section of the sandstone box drain is within the PS5&6 study area. The proposed development will therefore remove any surviving sections of drain within PS5&6. Most of the surviving Town Drain is within Parramatta City Council roadways and footpaths and the drain has been removed within the development footprint of most buildings, except to the north of the study area (Figure 3.11). It is noted that the drain is not a relic under the *Heritage Act 1977*, it is a buried work and is protected only through the LEP listing.

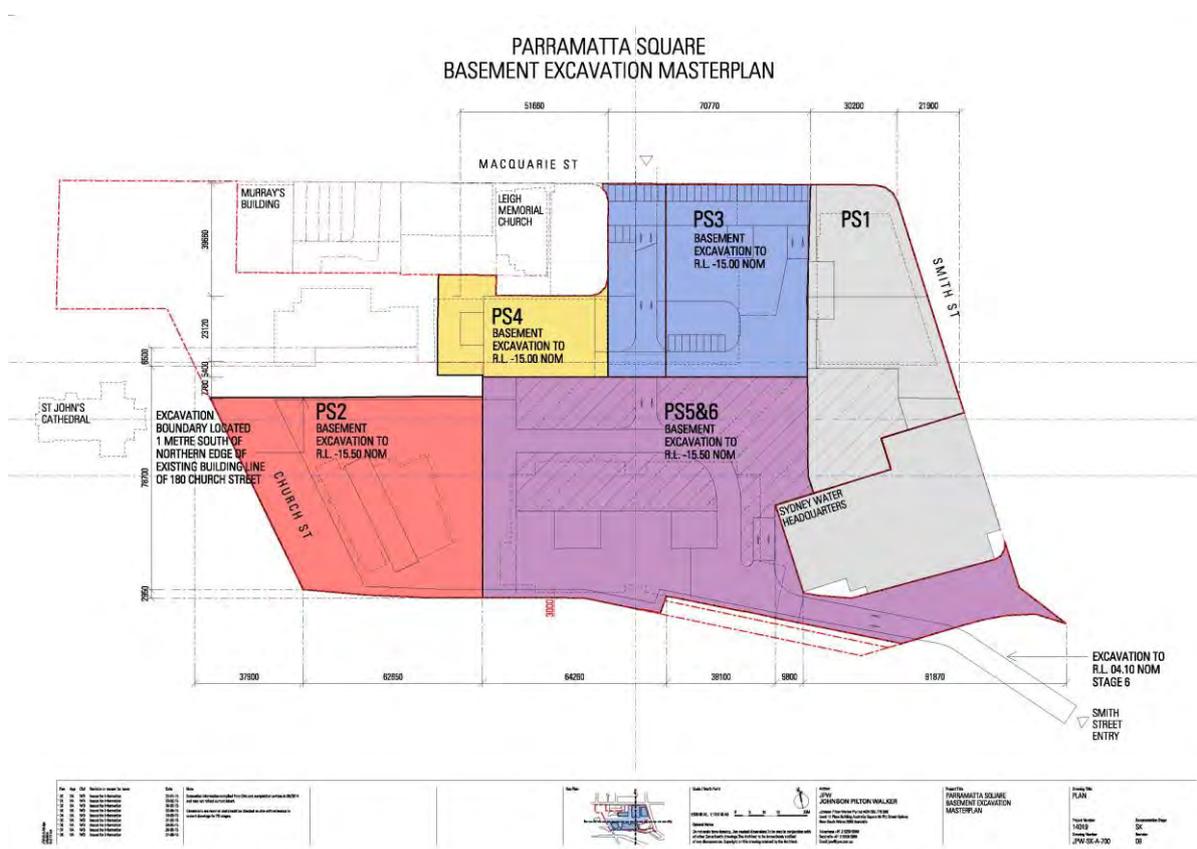


Figure 6.1: Plan showing Development Areas and the extent of Parramatta Square Basement Excavation Masterplan, JPW, June 2015.

PARRAMATTA SQUARE  
BASEMENT EXCAVATION MASTERPLAN

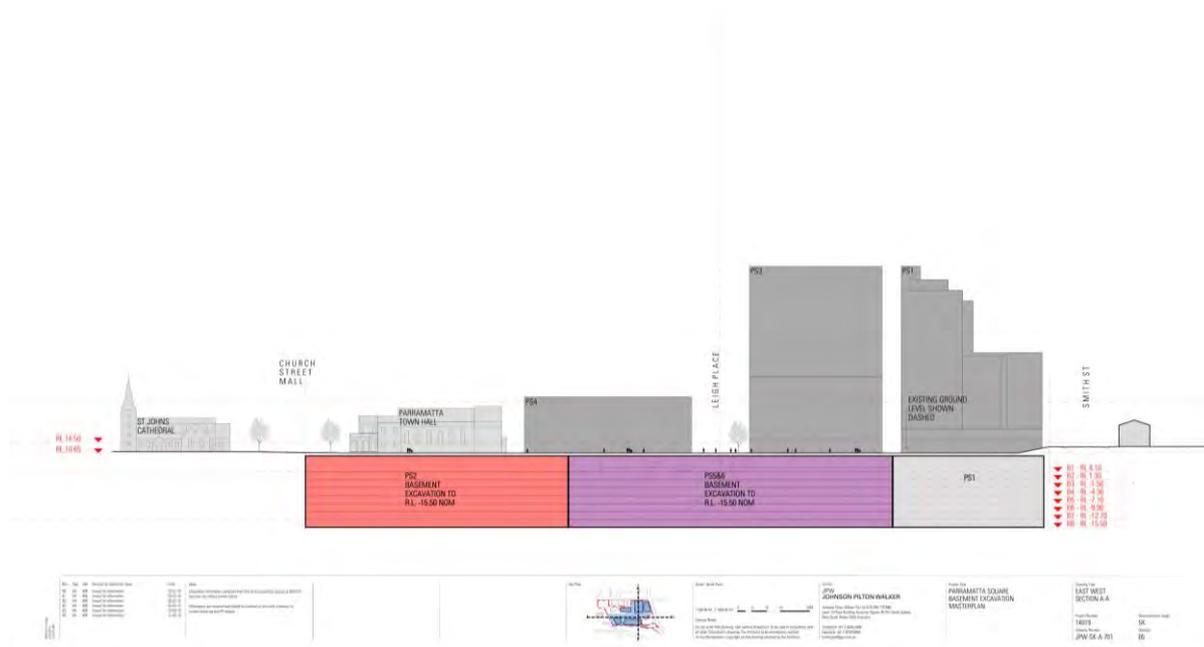


Figure 6.2: Elevation showing the below-ground basements, Parramatta Square Basement Excavation Masterplan, JPW, 31/03/2015.

PARRAMATTA SQUARE  
BASEMENT EXCAVATION MASTERPLAN

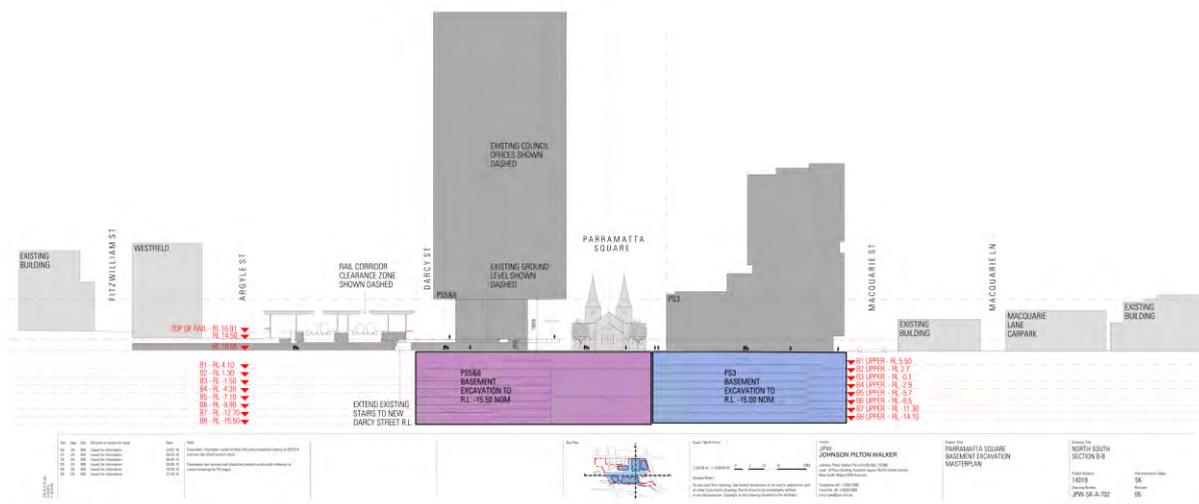


Figure 6.3: Elevation showing the below-ground basements, Parramatta Square Basement Excavation Masterplan, JPW, 31/03/2015.

### **6.3 Development Program**

Outlined below is the likely program of lodgements, approvals and works:

#### **Preliminary Works:**

- Archaeology Excavation Permits: June 2015
- Demolition of Building Structures: August 2015
- Archaeological Excavation Works: September 2015 to December 2015

#### **Early Works Basement:**

- DA Submitted: August 2015
- Notice of Determination: November 2015

#### **Above Ground Building:**

- DA Submitted: November 2015
- Notice of Determination: April 2016

#### **Construction of Building Structure:**

- Commence Basement Excavation: February 2016
- Practical Completion: June 2018

## 7.0 Mitigation of Impacts

### 7.1 Mitigation Strategy for Archaeological Remains

The archaeology of Parramatta is a resource associated with the second continuously occupied mainland British settlement in NSW and Australia. The known archaeology resource has a longevity and integrity which is found nowhere else in NSW. It is associated with the World Heritage Area of Parramatta Park and its convict-period archaeology. Therefore there is a high heritage value placed on the archaeology of Parramatta which is only seen in places such as The Rocks, Sydney CBD and other early settlement places. These proposed impacts, therefore, need to be appropriately mitigated if they are to be approved by the NSW Heritage Council. This means that the removal of the archaeology needs to produce an appropriate level of outcome for the community if they are to be allowed to proceed. These types of outcomes may include:

- Detailed open area excavation of the identified archaeological resources according to best practice guidelines as outlined in the Parramatta Square AMS (Section 9).
- Public interpretation of the archaeological program and the results of the archaeological program. This can be done by a range of techniques:
  - Public open or information days and/or opportunities for public to work on the site as volunteers.
  - Display of the results of the archaeological program with the redevelopment. This would be undertaken in accordance with an Interpretation Strategy.
  - Public presentation/dissemination of the results of the archaeological program to the public.
  - There should be an overarching Heritage and Archaeological Interpretation Strategy for Parramatta Square and not just for each separate development.
- Excavation reports presenting the results of the archaeological program to the public.
- Parramatta City Council should provide a repository for the artefacts from the PS5&6 study area and from all archaeological projects in Parramatta Square.
- Parramatta City Council should develop a long-term strategy for interpretation/display of artefacts from the Parramatta Square project within the Parramatta Heritage Centre, in addition to interpretation within the redevelopment.
- It is noted that the Heritage Council may seek an additional range of archaeological and heritage outcomes for this site if they approve the project.

### 7.2 Mitigation Strategy for Town Drain

As most of the Town Drain surviving within Parramatta Square will be removed by the proposed basements within PS3, PS4, a small portion of approximately 6m to 12m within PS5/6 and possibly an uncertain length within PS2 an overall strategy for the interpretation and recording of the drain has been developed. Also the Parramatta Square DCP identifies the following requirements:

- O.3 Interpret Parramatta's indigenous and cultural heritage in the design of buildings, public spaces and public art in Parramatta Square.
- O.4 Interpret the location of the original marketplace, the convict drain and the site's archaeology.
- O.5 Conserve and where appropriate, adaptively re-use archaeological resources in public interpretation to enrich public spaces.
- O.6 Develop an interpretation program that derives from the special qualities and associations of the site for the people of Parramatta and the region.

The key requirement being to interpret the location of the convict drain.

### **7.2.1 Public Interpretation of the Town Drain**

The Town Drain should be interpreted within the new landscape of Parramatta Square. This interpretation should take into account the archaeological recorded survey of the drain, the topography and reasons as to why the drain was built, and possible use of intact surviving fabric of the drain as part of the interpretation and other evidence as found during the archaeological recording. Interpretation should be locational, in terms of mapping the drain and creekline across the landscape, as well as inspired by the reasons for why the drain was made and the use of convict labour in making parts of the new Parramatta Square liveable in 19th-century Parramatta. Opportunities for the reuse of surviving stone and concrete fabric should be encourage within the new landscaping.

### **7.2.2 Archaeological Recording of the Drain**

Undertake testing of the drain to determine its extent and survival within the study area. This will allow us to confirm its heritage significance and develop a more detailed recording methodology for the drain as part of the overall archaeological program. Depending upon the extent or condition of the drain we would then undertake sample excavation and/or expose it along its whole length.

As the length within PS5&6 is relatively short it can be recorded and removed as part of a detailed recording program.

### **7.2.3 Precinct-wide Approach to Recording the Drain**

As part of the Archaeological Research Design (ARD), develop a strategy to record the drain by a mixture of methods for archival and interpretative purposes. It must be surveyed to allow for interpretation of its location within Parramatta Square. Undertake standard archaeological recording: archival photos, detailed scale drawings, and video recording. Depending upon the condition of the drain it may suitable for 3D scanning. This will be investigated following testing and determination of the condition of the drain.

## 8.0 Research Design

### 8.1 Archaeological Methodology

#### 8.1.1 Potential for State significant remains near the Town Hall site

There are no known structural remains within this location. It is limited to the possible archaeology associated with the use of the 5m x 5m area in the northwest corner of the development site for the Annual Feasts. This type of archaeology is considered likely to be ephemeral and consist of isolated artefacts. Careful excavation in this area will allow for the general potential for the archaeology of this area to be determined. The focus of archaeological excavation in this area will be undertaken mostly by the Aboriginal archaeology team and Casey & Lowe will provide input and monitoring into the findings. If historical remains are found we will investigate them to determine their significance.

As part of the initial stages of development, it is currently proposed to refine our understanding of the northern edge of the study area, which is adjacent to or within the Town Hall property. The main intention of this testing would be to determine whether any archaeological remains of State significance survive in this area. This would establish the best approach to managing the impacts in this area.

Sampling of potential underfloor deposits to determine if they exist. If found they will be excavated as outlined below. If they are not found then there will be no further investigation of these areas.

#### 8.1.2 Open Area Stratigraphic Excavation

The areas of the PS5&6 study area containing potential archaeological remains of local significance should be subject to detailed archaeological recording, in accordance with the best practices set out in the *Archaeological Management Strategy, Parramatta Square, Parramatta* (updated October 2012).

The basic principles of open area stratigraphic excavation to be employed on this site are:

- Use of machinery to open up areas and to undertake testing.
- Where remains are found undertake open area stratigraphic excavation and recording.
- Use of context recording forms and context numbers to record all archaeological information.
- Use of Harris matrix as part of the recording program.
- Underfloor deposits will be recorded within a 50 cm grid, 5 cm spits and 100% sieved.
- Wells and cesspits will be excavated in 20 cm spits or tip lines (if identifiable), with changes of context numbers where relevant. These deposits will be sample sieved.
- All structural remains, post holes, and features will be planned at a scale of 1:50.
- Detailed survey and mapping of the area.
- Detailed photographic and video recording, including pole photos (photogrammetry).
- Generally all artefacts will be collected except from unstratified fills. Samples of bricks and mortar will be collected from structures.
- Collection, labelling, safe storage, washing, sorting and boxing of artefacts.

#### 8.1.3 Recording Methodology

- Establish 20m grid for site.
- Use of digital surveying techniques for locating main structures and producing large scale plans.
- Detailed archaeological scale plans (1:50) for main areas.
- Photographic and video recording, including pole photos (photogrammetry).

- Analysis of fabric and detailed recording of the remains on context sheets according to best practice standards.

#### 8.1.4 Recording of the Town Drain

The drain needs to be surveyed in detail to allow for interpretation of its location within Parramatta Square. Undertake standard archaeological recording: archival photos, detailed scale drawings, including pole photos (photogrammetry), and video recording. Depending upon the condition of the drain it may be suitable for 3D scanning. This will be investigated following testing and determination of the condition of the drain. Use of photogrammetry will allow for the production of a consolidated set of photos of the drain to be produced.

### 8.2 Artefact Cataloguing & Repository

The artefacts from the site will be the subject of a detailed cataloguing and analysis program in line with Casey & Lowe's current practices. All artefacts will be catalogued by specialist cataloguers in the system designed by Casey & Lowe and used on all their excavation sites. An example of this was published in 2004 and spreadsheet versions are available on the Casey & Lowe webpage.<sup>120</sup> An important component of the cataloguing is the use of minimum item or minimum vessel counts. The faunal material will be entered into a database designed by Dr Sarah Colley for Casey & Lowe. Where relevant, specialists will produce reports on the artefacts outlining issues of importance. These typically are: ceramic, miscellaneous, building materials, glass and bone and shell.

In addition, important artefacts will be subject to relevant materials conservation. This would include gluing of important and/or early pottery and conservation of important metal artefacts and where there are significant leather materials. As the owner of the land, Parramatta City Council will need to provide a repository in perpetuity for the storage of all artefacts found during the course of the archaeological program. These will be handed over to Council at the end of the archaeological program.

### 8.3 Archaeological Investigation Report

The results of the archaeological program will be presented in a final excavation report. This report will need to conform to the NSW Heritage Division, Office of Environment & Heritage guidelines, and respond to the research design formulated for the project.

- The excavation report needs to be well structured and consist of three main stages:
  - **Description** of the archaeological remains including both structures and contexts and phases of occupation. This should include a stratigraphic matrix of the archaeological contexts.
  - **Analysis** of the artefacts utilising a computer database for the catalogue. Analytical techniques used should reflect the research questions and be presented graphically. Analysis needs to respond to the archaeological contexts in a meaningful way.
  - **Interpretation** of the description and analysis should address the research questions and with a detailed response to the research design.

Heritage Division standard conditions for reporting include:

After any archaeological works have been undertaken, a copy of the final excavation report(s) shall be prepared and lodged with the Heritage Council of NSW, Council, SHFA, and the Department. The Applicant shall also be required to nominate a repository for the relics

<sup>120</sup> Casey 2004; <http://www.caseyandlowe.com.au/sydney.htm> - Click on specific projects as well as the Parramatta link.

salvaged from any historical archaeological excavations. The final excavation report shall include the following:

- a) An executive summary of the archaeological program;
- b) Due credit to the client paying for the excavation, on the title page;
- c) An accurate site location and site plan (with scale and north arrow);
- d) Historical research, references, and bibliography;
- e) Detailed information on the excavation including the aim, the context for the excavation, procedures, treatment of artefacts (cleaning, conserving, sorting, cataloguing, labelling, scale photographs and/or drawings, location of repository) and analysis of the information retrieved;
- f) Nominated repository for the items;
- g) Detailed response to research questions (at minimum those stated in the Department approved Research Design);
- h) Conclusions from the archaeological program. This information must include an assessment of the site's heritage significance, statement(s) on how archaeological investigations at this site have contributed to the community's understanding of the Site and other Comparative Site Types and recommendations for the future management of the site; and
- i) Details of how this information about the excavations was publicly disseminated (for example, include copies of press releases, public brochures and information signs produced to explain the archaeological significance of the sites).

The report will comply with these standard conditions.

#### 8.4 Personnel

The archaeological program of sampling and salvage will be directed Dr Mary Casey, primary excavation director, and Dr Amanda Disting will be the secondary excavation director. Other project archaeologists include Rhian Jones, Jill Miskella, Sandra Kuiters, Jamie Fraser, Kat McCrae, Michael Spate and Nick Pitt. Artefact Manager is Robyn Stocks. Additional qualified historical archaeologists may be required during the testing program. Artefacts will be catalogued by Casey & Lowe's specialists, notably Robyn Stocks and other specialists will include Jeanne Harris (glass), Dr Melanie Fillios (animal bone), Dr Melissa Carter (shell), Jill Miskella and Sandra Kuiters. Site survey and photogrammetry will be undertaken by Guy Hazell, Archaeological Surveyor.

#### 8.5 Research Questions

The following research questions should form the basis of an overarching research design to inform the archaeological program. Where more specific issues or remains arise new questions should be developed to address their research potential. These questions are ones developed by Casey & Lowe to address a range of sites in Parramatta. The use of a consistent methodological approach and similar questions are considered most likely to allow us to engage in detailed comparative analysis across a range of archaeological sites:

##### Convict and Free Life in Colonial Parramatta<sup>121</sup>

- What differences were there between the lives of free and forced or institutionalised settlers?
- How did the deprivations of a frontier life alter the way in which free people lived in early colonial Parramatta?
- Nature of early agricultural practices, evidence for dairying, cattle grazing, early clearing and cropping etc. Address this issue through both the analysis of archaeological features as well as through analysis of pollen samples and related artefacts.

<sup>121</sup> I have drawn on some of the more relevant questions in PHALMS 2000 Figure 6.4, p. 167-175.

- Pottery was manufactured in Sydney. It is typically found on early Parramatta sites where it is both glazed and unglazed. Our understanding of this pottery has developed considerably since the excavation and recording of more than 600kg of Thomas Ball's pottery, c1801-23. Recent work by Mary Casey on the analysis of early pottery in Sydney has considerably added to our understanding of the type of forms manufactured and used at specialist sites but we know very little about pottery at Parramatta, its manufacture and the forms and their uses.<sup>122</sup> Archaeological work at 710-722 George Street, Sydney, George & Charles Streets, Parramatta Children's Court site, Parramatta Justice Precinct, 15 Macquarie Street, Parramatta has considerably assisted with expanding the *corpus* of early pottery, often made by former convict potters.
- Evidence associated with the occupation of this site by the known individuals may reveal interesting insights into family patterns and behaviour.
- Consumption and commerce in colonial Parramatta:
  - How does it link into issues associated with local, regional and global economies?
  - What does it tell us about cultural and social practices in colonial Parramatta, relating to lifeways, diet and other issues associated with consumption?
  - How do patterns of consumption further our understanding of how early residents of Parramatta used material culture in the construction of personal and group identity, including ethnic identity?
  - Evidence for evolving patterns of consumption and commerce from early colonial period into the early 20th century.

### Landscape of Colonial Parramatta

- How does the evidence from this site feed into the current perceptions of the convict-period landscape of Parramatta? Other issues to be considered are resistance to the way in which control manifested itself in the landscape and in daily life. Issues of power are central to the expression of landscapes of control.
- Evidence for the pre-European landscape, especially in relation to the placement of the drain and its relationship with the former creekline, the presumed swampy ground in this area, the marked ponds on the 1854 map. How was this landscape modified to make it useable to British sensibilities?
- Nature and effect of modification of the pre-European landscape.
- Remaking of the landscape, the social, cultural and political context and how it was manifest in this landscape.<sup>123</sup> Are many of the same issues influencing the way in which the landscape was formed similar to those which affected the Sydney Domain? This is much more likely due to the relationship of St John's church and the Market Place to the site and how the Macquaries remade colonial landscapes that were significant to them.
- Order and amenity: is the layout of houses and other structures the result of cultural and social practices? What was the role of these practices in changing the landscape and modifying people's behaviour?<sup>124</sup>

### Life in the Various Households throughout the 19th and early 20th Centuries

- The range and variation apparent within the households where a range of families resided.
- Evidence for the nature of childhood and the way in which gender and ethnic identities were constructed.

<sup>122</sup> Casey 1999; Casey & Lowe 2002, 2011.

<sup>123</sup> This general topic was the focus of Mary Casey's PhD thesis but in relation to the Sydney Domain (Casey 2002).

<sup>124</sup> Some of these issues were the focus of analysis in Casey 2002.

- The nature of the material culture and consumption patterns of the various households; how these remains related to the transformation of their environment from frontier and rural town and to an urban place.
- Varying house sizes across the site, notably between the Smith, Darcy and Macquarie Street frontages, is suggestive that there may be economic differences present within the houses. These differences might be represented within the archaeological evidence.
- Layout of the house and outbuildings and how this structured life in these households.
- Is there evidence for customary patterns (buildings, food, religious practice, cultural artefacts)?
- How was material culture used to represent personal, ethnic, religious and/or group identity?

The material culture of the site could add to our understanding about the cultural, social and economic influences on the residents of Parramatta and how these influences affected their behaviour, as manifested through their choices about:

- Where activities were undertaken within a house,
- What type of activities were undertaken within a house,
- What, how and where to eat,
- What was acceptable recreation for adults and children within working-class homes,
- What to buy.

An important aspect of the analysis of the archaeological remains is the opportunity it provides for a comparative examination of the sets of archaeological evidence from individual **households** and the houses as part of a larger **neighbourhood**. This will be a focus of the overall analysis. It requires a **comparative analysis** of each house or dwelling lot or specific context, such as cesspit deposits, to each other. This is facilitated by the archaeological methodologies established for comparative analysis by Casey & Lowe that includes such things as a ceramic pattern series, and the cataloguing process which is designed to facilitate a comparative analysis of sets of data through using criteria such as minimum vessel counts.<sup>125</sup>

### Other Relevant Questions

There may be types of remains that would be encountered that may use to address other research questions. These could include:

- Do we have evidence for early semi-industrial and work practices associated with the archaeological remains? How are they different, what do they say about early practices?
- Is there evidence for the Wentworth's Estate practices in this area?
- Evidence for Aboriginal and British peoples' activities and contact during early settlement.
- Evidence for Industrial Archaeology activities.

It should be noted that the archaeological evidence may provide us with a range of information we are not expecting and the research questions are likely to evolve depending upon the type of evidence and artefacts found at the site.

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<sup>125</sup> Casey 2004.

## 9.0 Results, Mitigation and Recommendations

### 9.1 Results

This report assesses the impact from the proposed works associated with the redevelopment of Parramatta Square Stages 5 & 6 (PS5&6) on the potential historical archaeology resource. The proposed works include the excavation of a basement to RL-15.50m, extending into the Darcy Street roadway.

The study area has the potential to contain a range of archaeological remains with historical, associative, social, research and representative significance. The PS5&6 study area includes a very small area in the northwest corner of the development plot near the Town Hall that is considered to have potential State significance. Overlays of historic plans show that the Town Drain, which has local significance, is likely to be present running across the northwest corner of the study area.

The main impact is on potential remains considered to be of Local Significance. The study area has the potential to contain remains, including:

- Early agriculture evidence as part of early farming (1788-1790s) and prior to subdivision. Limited potential for ephemeral remains such as agricultural marks, drainage channels and environmental information.
- Wentworth Estate and Subdivision; while there are no known structures associated with the Wentworth Estate, as the land was used for grazing and watering of animals, remains may include ephemeral evidence such as agricultural marks and environmental information and possible remains of brick cisterns/sumps at the edge of swampy areas for water collection.
- Yard areas and features, sites of structures shown on 1844 plan and an additional two structures on the 1858 plan, including associated outbuildings, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.
- Two 'ponds' shown on 1858 plan in the northern end of the study area. Potentially backfilled with artefacts and may include pollen deposits and general environmental evidence.
- Approximately 6m to 12m of the c.1840s Town Drain running across the northwest corner of the study area.
- Archaeology of eight semi-detached houses and their outbuildings, yard deposits, cesspits, wells, rubbish pits, drains, fencelines, deposits and artefacts.

A short section of the Town Drain, listed on the Parramatta City Centre LEP2007 (Item I 132), within Civic Place is proposed to be removed as part of the bulk excavation works.

### 9.2 Mitigation

To mitigate the impacts of the proposed removal of archaeology by the basement excavation, it is required under S139 and S140 of the *Heritage Act 1977* to obtain an approval to disturb relics. This requires the detailed archaeological excavation of the subject site in accordance with the Archaeological Research Design outlined in Section 8. The S141 approval will include conditions of consent relating to the archaeological program.

The section of the Town Drain should be archaeological recorded and a photo archive produced of the drain, aside from its inclusion in the archaeological reporting. The Town Drain should be interpreted within the new Parramatta Square in accordance with the DCP requirements and the proposed interpretation strategy for Parramatta Square.

### 9.3 Recommendations

1. An application for an excavation permit under S140 of the *Heritage Act 1977* should be made to the Heritage Division, Office of Environment & Heritage (OEH). This report provides the main documentation to accompany this application and includes an Archaeological Research Design (ARD) outlining the proposed excavation methodology and approach to be used. This is included within the current report.
2. Potential archaeology within this site should be recorded as part of a detailed recording program in accordance with the Parramatta Square AMS Section 9: Archaeology - Best Practice Guidelines and outlined in the ARD in Section 8.
3. No excavation or ground disturbance of the PS5&6 site can be undertaken prior to the issuing of a S141 approval from the Heritage Division, OEH.
4. The archaeological program will need to be undertaken in accordance with the S141 Conditions of Consent.
5. Excavation or disturbance of the ground needs to be co-ordinated with the Aboriginal archaeology and their approval process. An AHIP under S90 of the *NPW Act* is required prior to undertaking any substantial works as the testing in 2004 identified that this area contained Aboriginal objects.
6. An excavation report presenting the results of the archaeological program to the public should be prepared at the end of the archaeological program. The final report needs to comply with the S141 conditions of consent.
7. Parramatta City Council should provide a repository for the storage in perpetuity of artefacts recovered from the site.
8. Advice is required from Parramatta City Council for the removal of the Town Drain within PS5&6.

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**APPENDIX 1: SANDS Directory**

**D'ARCY STREET**

*Church to Taylor Street*

<b>1885</b>	Gribben, James S.	teacher
	Chambers, William	weaver
	Howell, Thomas	
	Hart, W. & Sons	contractors & timber merchants
<b>1890</b>	Hall, Emma P.	butcher
	Roach & Meaney	bootmakers
	Carey, E.	tailor
	<i>Fullagar's Buildings</i>	
	2 Bell Joseph	boardinghouse
	2 Griffin E.	
	4 Liston, Francis	
	5 Gribbins, J	school teacher
	7 Smith, Henry	
	9 Cox, Gordon	
	10 Howell, William	carpenter
	Howell, Thomas	carrier
	Hart, William jnr	
	Hart, George	
	Hart & Sons	timber merchants
	Coates & Harper	timber merchants
Harding J.E. painter		
Griffiths, H. & A.A.	wholesale fruit merchants	
<b>1900</b>	Vidler , William H	butcher
	Thearle E.	bootmaker
	2 Ralph, George	auctioneer
	4 Ralph, George	casemaker
	6 Hall, Mrs Patience	
	8 Snudden J	
	10 Harris E.W.	
	12 Prowse J.	
	14 Howell Edward	
	22 Hart William	timber merchant
	24-26 Hart, Hitchcock & Co.	timber merchants
	28 Harper L. & Co	timber merchants
Plater L.	confectioner	
<b>1910</b>	McIntosh, Mrs Ellen	fruiterer
	Thearle, Edwin	bootmaker
	2 Ralph, George	auctioneer
	4 Ralph, George	casemaker
	6 Hall, Mrs Patience	boardinghouse
	8 Ling William J	
	10 Yates, William	
	12 Walsh, Edward E.	
	14 Cramer, Harry	
	16 Howell, Edward	
18		

<b>1910</b>	20		
<b>cont.</b>	22?	Hart, William	timber merchant
	24-26	Hart, Hitchcock & Co.	timber merchants
	28	Harper L. & Co	timber merchants
<b>1914</b>		Lewry, Llewellyn F	butcher
		Townsend, Miss Frida	confectionery
	2	Ralph, James	carpenter
	4	RALPH, GEORGE	produce auctioneer
	6	Hall, Mrs M.A.	boardinghouse
	8	Townsend, George Thomas	
	10	Lewry, L.F.	
	12	White, Mrs M.A.	boardinghouse
	14	Muller, Waldemar	
	16	Roots A.J.	
	18	Metcalf, William	
	20	Hennessey, Mrs Hannah	
	22		
	24-26	Hart, Hitchcock & Co.	timber merchants
	28	Harper L. & Co	timber merchants
<b>1920</b>	2	Ralph, James H	produce & poultry auctioneer
	4	Ralph Mrs Elsie	
	6	Hall, Mrs E. Patience	
	8	Townsend, George Thomas	
	10	Dunn George	
	12	Craig Thomas	
	14	Muller, Mrs Mary	
	16	Diamong John	
	18	Lyon Rudolph	
	20	Hennessey, George	
	22	Roots, Alfred J.	
	24-26	Hart, Hitchcock & Co.	timber merchants
	28	Harper L. & Co	timber merchants
		Royal Insurance CO Ltd, R.L. Harper, local agent	
<b>1925</b>	2	Ralph, J. H	auctioneer
	4	Ralph George	
	5	Weeks, Francis L	
	6	Bridge, Frederick C.	
	7	Barry Mrs Florence	
	8	Harris, Arthur	
	9	Markwort, Mrs E. M	
	10	Hereford, Mrs H	
	11	Ralph, Henry James	
	12	Paten Mrs S	
	14	Porter, George	
		Morrow H.T.	Lime & cement merchant
	16	Dewhirst J.,	Confectioner
	20	Hennessey, George	
	22	Roots, Alfred J.	
	24	Hennessey, Mrs H	fruiterer
	26	Tuckwell, T.	fishmonger
	28	Hart, Hitchcock & Co. Ltd	timber merchants
	32	Harper L. & Co	timber merchants
<b>1930</b>		James C.	ironmonger

<b>1930 cont.</b>		Parramatta Arcade	
		Saunders & Brown	bt. Store
	4	Manollaras, Theo	
	5	Weeks, Francis L	
	6a	Executive Hat Salon	
	6	Storey's Markets	
	8	Crraig R Tailor	
	10	Poultry Accessories Co.	
	10	White Mrs E.	ladies & children's ware
	12	McEwen, Miss Jessie	stationer
	14	Chivers, H.J.	music depot
	16	Kendrick Mrs Elsie M	confectioner
	18	"Lorna" Refreshment Rooms	
	20	Anderson, Neil	hairdresser & tobacconist
	22	Ashby, A.	dolls hospital
24-26	Nilsson Anna Q	ladies & children's outfitter	
28	Hart, Hitchcock & Co. Ltd	timber merchants	
32	Harper L. & Co	timber merchants	